

ZONING DATA TABLE

THE PROPERTY IS ZONED B-2
 THE PROPOSAL IS TO DEVELOP THE PROPERTY AS A CENTER DESIGN DEVELOPMENT (§ 13 OF THE ZONING REGULATIONS)
 THE PROPOSAL CONSISTS OF:
 11,500 SQUARE FEET OF RETAIL USE
 40 STUDIO + 66 ONE-BEDROOM = 106 DWELLING UNITS

Site Standards	Required / Permitted	Provided
Minimum Lot Area	0.5 Acres	3.228
Maximum Residential Density	35 bedrooms / Acre	32.8 bedrooms / Acre
Maximum Building Height	3 Stories or 45 ft	35-45 ft
Maximum Building Coverage	30%	26.3%
Minimum Ground-Level Paved or Landscaped Area Accessible only to Pedestrians	20%	33.7%
Yards	Discretion of Commission	Closest: North Building- 20.2' to north property line West Building- 6.2' to Prospect St. right-of-way line South Building- 5.0' to Prospect St. right-of-way line

Parking Standards

RETAIL	Required / Permitted	Provided
1 space per 200 sf (§3.3.5.F.(1)(a))	11,500 sf X 1 per 200 sf = 57.5 spaces	
10% Reductions §3.3.1.E.(2):		
(a) Neighborhood-oriented	57.5 x -10% = -5.75 spaces	
(b) Near public parking	57.5 x -10% = -5.75 spaces	
(c) Near mass transit	57.5 x -10% = -5.75 spaces	
		-17 SPACES
MINIMUM PARKING SPACES REQUIRED FOR RETAIL		= 58-17 = 41 SPACES
RESIDENTIAL	Required / Permitted	Provided
Minimum Residential	1 space per dwelling unit	106 Units X 1 per unit = 106 SPACES MIN.
Maximum Residential	1 space per studio/1BR Unit 1.5 spaces per 2BR Unit	106 Units X 1 per UNIT = 106 spaces 0 Units X 1.5 per unit = 0 spaces = 106 SPACES MAX.

TOTAL REQUIRED PARKING
 MINIMUM = 41 + 106 = 147 SPACES
 MAXIMUM = 58 + 106 = 164 SPACES

TOTAL PARKING PROVIDED = 147 SPACES

Building Standards

Building Standards	Required / Permitted	Provided	Expected Future Revision
Minimum Living Area			
Studios	No unit <500SF	Studios are >560SF	Studios are >560SF
1 Bedroom/Studio Units	Avg. living area per unit >650SF	Avg living area >683SF	Avg living area >690SF
2 Bedroom Units	Avg. living area per unit >950SF	Avg living area >980SF	Avg living area >980SF
Facades	Must be varied	Complies	Complies

LEGEND:

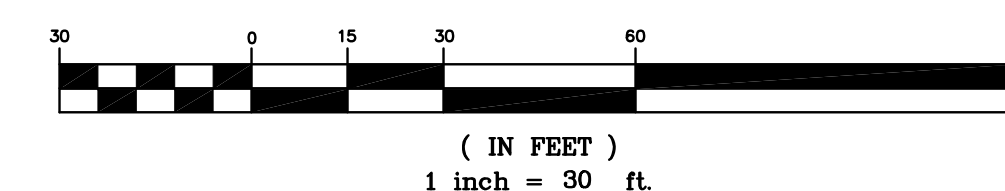
- (3) NUMBER OF PARKING SPACES
- CONCRETE PAVEMENT
- PATIO
- BITUMINOUS PAVEMENT
- LAWN / LANDSCAPED AREA
- EXISTING CONTOUR
- PROPOSED CONTOUR
- OUTDOOR PATIO FURNITURE
- BARBECUE GRILL

THERE ARE NO
 - Special Flood Hazard Areas.
 - Designated inland wetlands and watercourses,
 - heavily forested or steeply-sloped portions of the site.

WAIVERS REQUIRED FROM THE WINDSOR TOWN PLANNING & ZONING COMMISSION

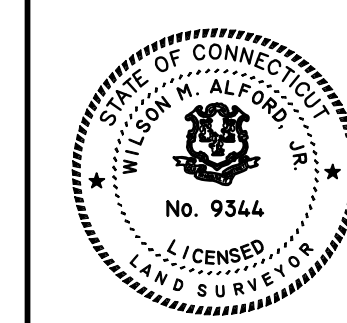
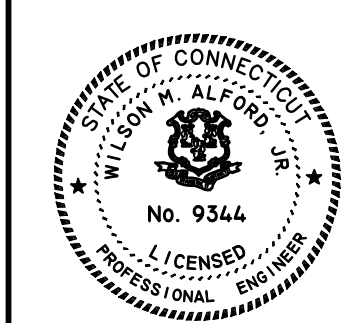
1. WAIVER FOR PARKING LOTS ADJACENT TO PROPERTY AND RIGHT-OF-WAY LINES: Per 3.1.2.C.(1),(b),(v)
THE COMMISSION MAY REDUCE THE DISTANCE BETWEEN THE NEIGHBORING PROPERTY LINE AND THE PARKING LOT TO THREE (3) FEET.
2. WAIVER FOR PARKING LOTS ADJACENT TO BUILDINGS: Per 3.1.2.C.(2),(a),(ii)
THE COMMISSION MAY REDUCE THE REQUIRED DISTANCE BETWEEN BUILDINGS AND PARKING LOTS FROM TEN (10) FEET TO THREE (3) FEET IN WINDSOR CENTER.
3. WAIVER FOR INTERIOR LANDSCAPED ISLANDS - Section 3.1.2.C.(3)
THE COMMISSION MAY WAIVE THE REQUIREMENT FOR LANDSCAPED INTERIOR ISLANDS IN WINDSOR CENTER.
4. WAIVER FOR 20' REQUIRED YARD - Section 13.1.3B(2)

GRAPHIC SCALE



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

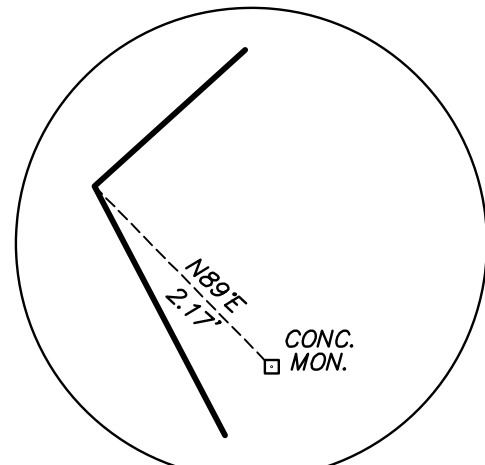
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
2-6-23	ADDED PROPOSED WEST BUILDING AND RELATED IMPROVEMENTS
8-1-2022	ADD TP&ZC APPROVAL INFORMATION FOR DESIGN DEVELOPMENT CONCEPT PLAN
6-2-2022	ADD ZONING TABLE; REVISE REAR PARKING AREA
DATE	REVISION



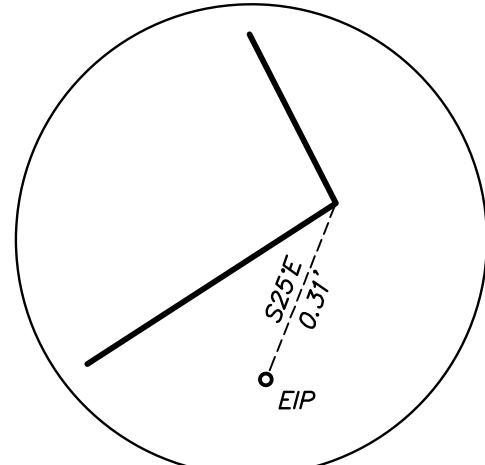
L.S. No. 9344
Alford
 ASSOCIATES, INC.
 CIVIL ENGINEERS
 WINDSOR, CONNECTICUT
 WILSON M. ALFORD, JR., P.E. & L.S.
 860-688-7288

CONCEPT PLAN
 PREPARED FOR
GRAVA PROPERTIES

INSETS NOT TO SCALE



INSET "A"



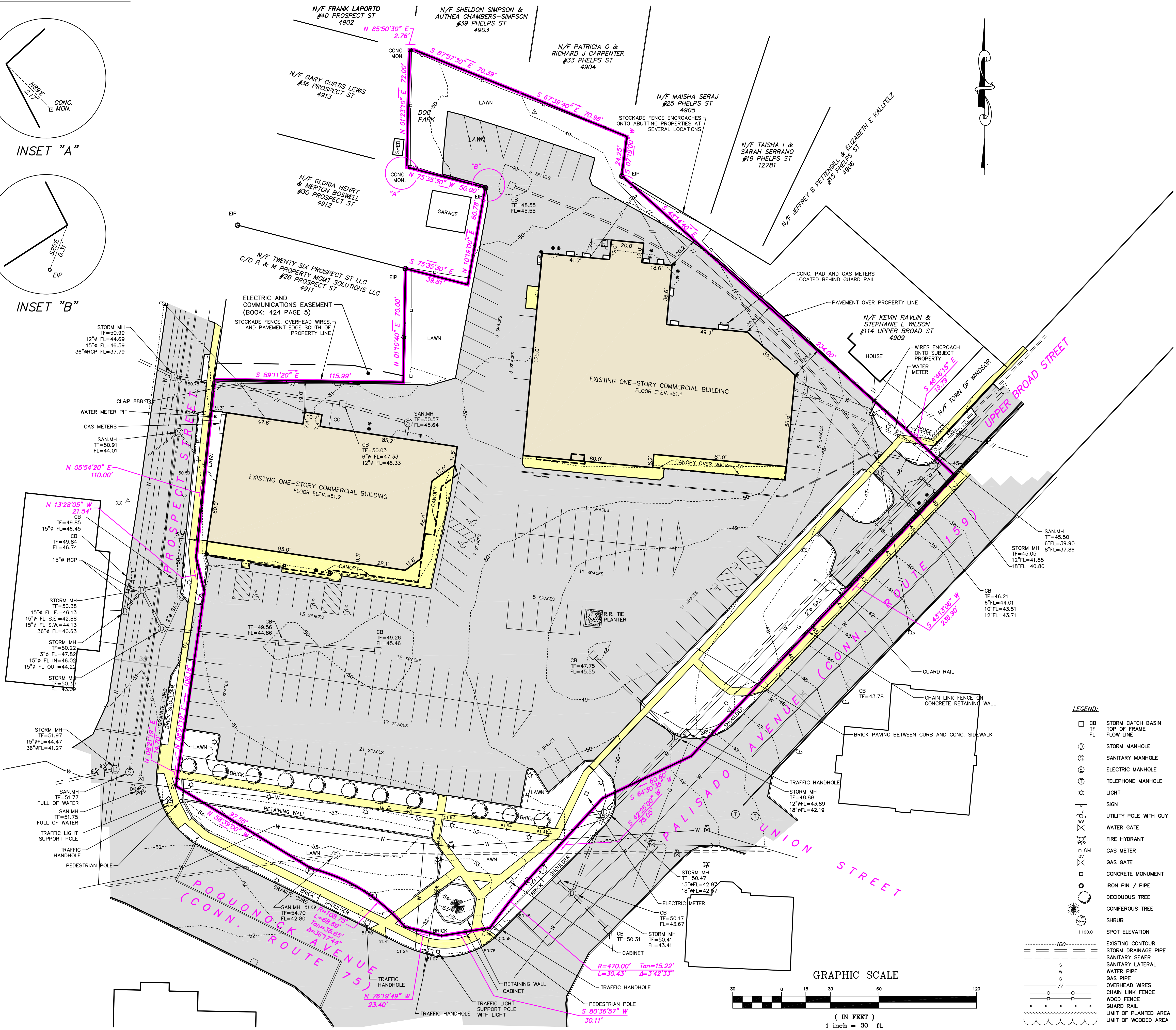
INSET "B"

SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS T-2.
2. PARCEL AREA = 140,612 SQ.FT. = 3.228 ACRES.
3. THE BEARINGS (NORTH ORIENTATION) SHOWN ARE BASED ON REFERENCE PLAN 1 NOTED HEREON. VERTICAL DATUM IS 1988 NORTH AMERICAN DATUM.

REFERENCE PLANS:

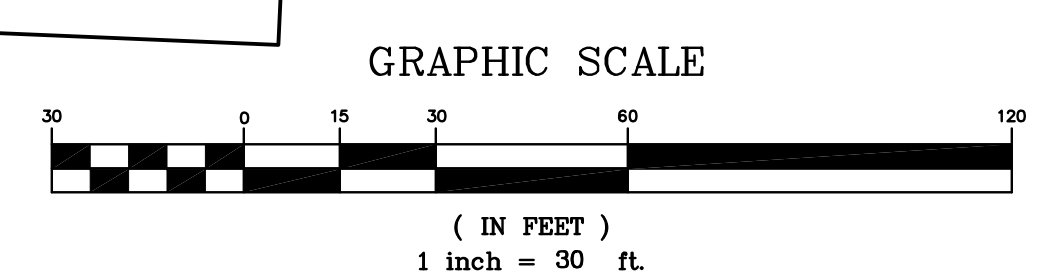
1. "IMPROVEMENT LOCATION SURVEY PREPARED FOR MASTRIANI REALTY, LLC, PROSPECT STREET, POQUONOCK AND PALISADO AVENUES, WINDSOR, CONN., SCALE: 1 IN.=40 FT., DATE: APRIL 29, 1999, REVISED 5-6-99, ALFORD ASSOCIATES, INC." TOWN CLERK MAP #4743
2. "PLOT PLAN FOR MARDORDIC REALTY CO., INC., 144-48 AND 152-162 BROAD STREET, WINDSOR, CONNECTICUT, SCALE: 1"=30', JANUARY 25, 1988, DUBIEL ASSOCIATES" TOWN CLERK MAP #3277.
3. "LAND TO BE CONVEYED TO MASTRIANI REALTY, ROUTES 75 AND 159, SCALE: 1"=30', MARCH 30, 2021, DUBIEL ASSOCIATES"
4. "COMPILATION PLAN, TOWN OF WINDSOR, MAP SHOWING LAND RELEASED TO TOWN OF WINDSOR BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, BROAD STREET (CT ROUTE 75) & PALISADO AVENUE (CT ROUTE 159), SCALE: 1"=40', JANUARY 2022 SCOTT A. HILL, P.E. TOWN NO. 164-168 SERIAL NO. 4A SHEET 1 OF 1 DATE 5-2-22 CHRISTINE A. AUBREY, P.L.S. TITLE MANAGER OPERATIONS"
5. "PLAN TO SHOW PARCELS TO BE ACQUIRED FROM TOWN OF WINDSOR BY MASTRIANI REALTY, LLC 144 BROAD STREET WINDSOR, CONNECTICUT SCALE: 1 IN. = 30 FT. DATE: DEC. 12, 2022 ALFORD ASSOCIATES, INC."



LEGEND:

- CB STORM CATCH BASIN
- TF TOP OF FRAME
- FL FLOW LINE
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ LIGHT
- ⊙ SIGN
- ⊙ UTILITY POLE WITH GUY
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS METER
- ⊙ GAS GATE
- ⊙ CONCRETE MONUMENT
- ⊙ IRON PIN / PIPE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ SHRUB
- ⊙ SPOT ELEVATION
- ⊙ EXISTING CONTOUR
- ⊙ STORM DRAINAGE PIPE
- ⊙ SANITARY SEWER
- ⊙ SANITARY LATERAL
- ⊙ WATER PIPE
- ⊙ GAS PIPE
- ⊙ OVERHEAD WIRES
- ⊙ CHAIN LINK FENCE
- ⊙ WOOD FENCE
- ⊙ GUARD RAIL
- ⊙ LIMIT OF PLANTED AREA
- ⊙ LIMIT OF WOODED AREA

CONCRETE PAVEMENT
 BITUMINOUS PAVEMENT



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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. NO. 9344	CIVIL ENGINEERS WINDSOR, CONNECTICUT
Alford ASSOCIATES, INC.	WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288
SCALE: 1 IN. = 30 FT. DATE: DEC. 14, 2021	
DATE	REVISION
PROPERTY SURVEY	
PREPARED FOR	
GRAVA PROPERTIES	
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL	144 BROAD STREET WINDSOR, CONNECTICUT