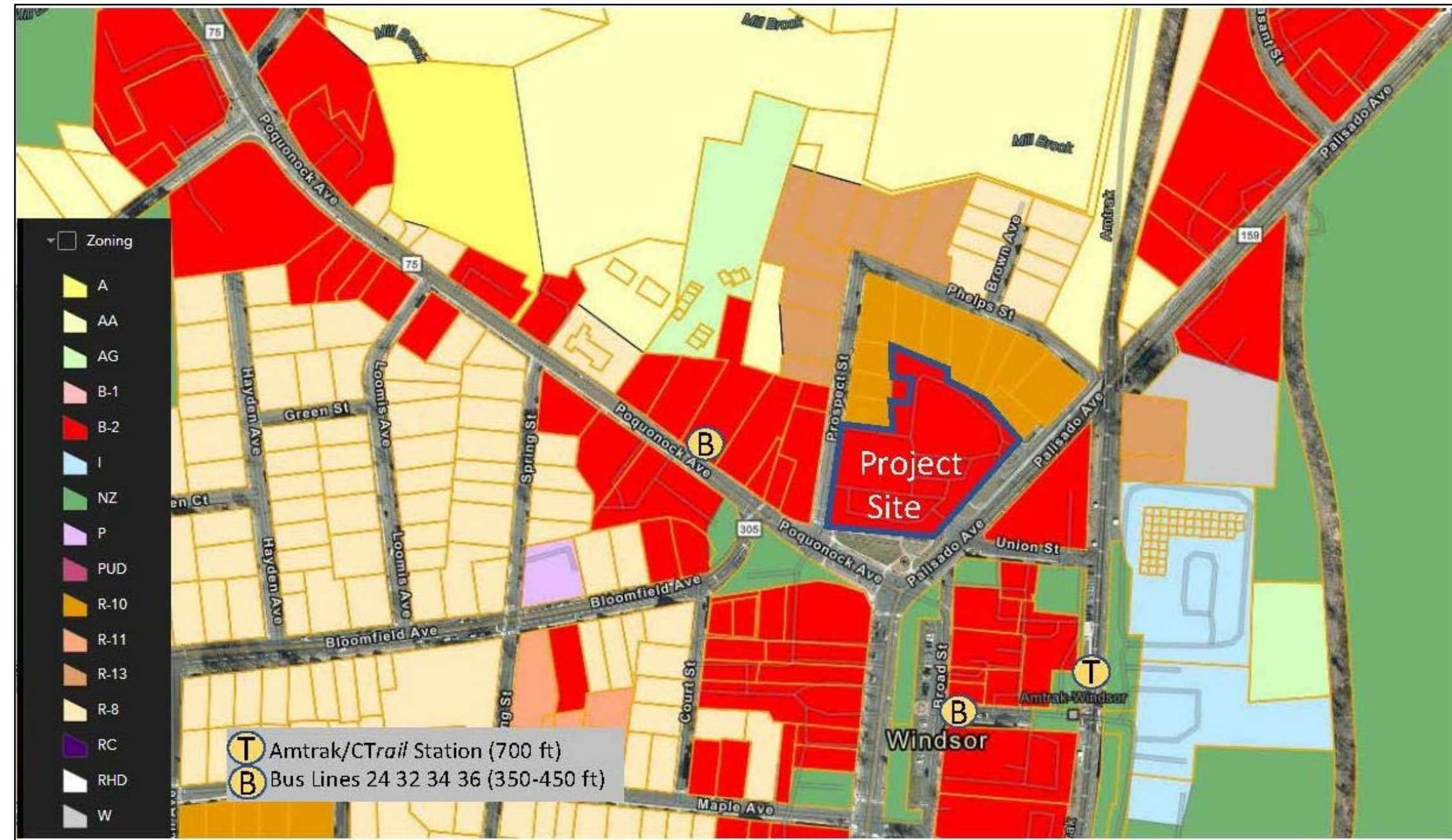


LOCATION MAP

SCALE: 1 INCH = 300 FEET



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
COVER	COVER SHEET
C 1	EXISTING CONDITIONS PLAN SCALE: 1"= 30'
C 2	PROPOSED LAYOUT PLAN SCALE: 1"= 30'
C 3	PROPOSED LANDSCAPING PLAN SCALE: 1"= 30'
C 4	PROPOSED GRADING PLAN SCALE: 1"= 30'
C 5	PROPOSED UTILITIES PLAN SCALE: 1"= 30'
C 6	EROSION AND SEDIMENTATION CONTROL PLAN SCALE: 1"= 30'
C 7	CONCEPT PLAN INCLUDES ZONING DATA TABLE SCALE: 1"= 30'
C 8	NOTES AND DETAILS
C 9	NOTES AND DETAILS
C 10	NOTES AND DETAILS
C 11	NOTES AND DETAILS
SL-1B	SITE LIGHTING PHOTOMETRIC CALCULATION PREPARED BY: APEX LIGHTING SOLUTIONS SCALE: 1"= 30'

REQUIRED APPROVALS AND PERMITS

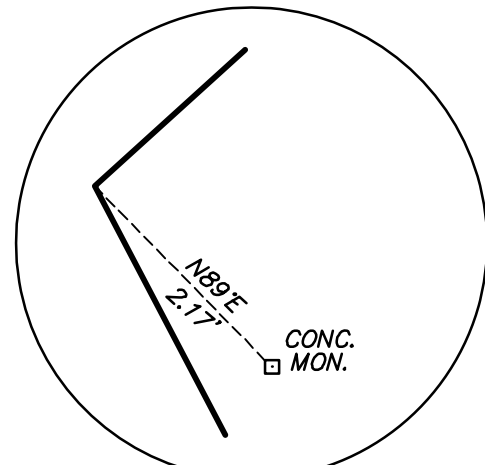
1. AN APPROVAL WAS GRANTED FOR A "DESIGN DEVELOPMENT CONCEPT PLAN" BY THE TOWN OF WINDSOR TOWN PLANNING & ZONING COMMISSION ON MARCH 14, 2023.
2. AN APPROVAL IS REQUIRED FOR A "DESIGN DEVELOPMENT DETAIL PLAN" FOR A CENTER DESIGN DEVELOPMENT FROM THE WINDSOR TOWN PLANNING & ZONING COMMISSION.
3. SITE IS OUTSIDE OF THE REGULATED AREA. A PERMIT IS NOT REQUIRED FROM THE TOWN OF WINDSOR INLAND WETLANDS & WATERCOURSES COMMISSION.
4. AN EROSION & SEDIMENT CONTROL PERMIT IS REQUIRED FROM THE TOWN ENGINEER.
5. A STORMWATER MANAGEMENT PERMIT IS REQUIRED FROM THE TOWN ENGINEER.
6. IN ACCORDANCE WITH THE TOWN'S STORMWATER MANAGEMENT ORDINANCE, AN INSPECTION AND MAINTENANCE AGREEMENT FOR THE LONG TERM OPERATION AND MAINTENANCE OF ON-SITE STORMWATER FACILITIES IS TO BE RECORDED IN WINDSOR LAND RECORDS PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITIES.
7. ANY WORK WITHIN THE TOWN RIGHT OF WAYS WILL REQUIRE THE CONTRACTOR BE LICENSED AND PERMITTED THROUGH THE TOWN OF WINDSOR ENGINEERING DEPARTMENT AT THE TIME OF CONSTRUCTION.
8. ANY WORK WITHIN THE STATE OF CONNECTICUT RIGHT OF WAYS WILL REQUIRE A PERMIT FOR THE CONNECTICUT DEPARTMENT OF TRANSPORTATION.
9. ANY MONUMENT SIGNS ADDED TO THE SITE AFTER APPROVALS WILL NEED TO BE APPROVED UNDER A 3.9 SITE REVISION APPLICATION. NEW WALL MOUNTED BUSINESS SIGNS REQUIRE A BUILDING PERMIT AND ZONING REVIEW.
10. APPROVAL FROM MDC IS REQUIRED FOR SANITARY SEWER AND WATER SERVICES.

COVER SHEET

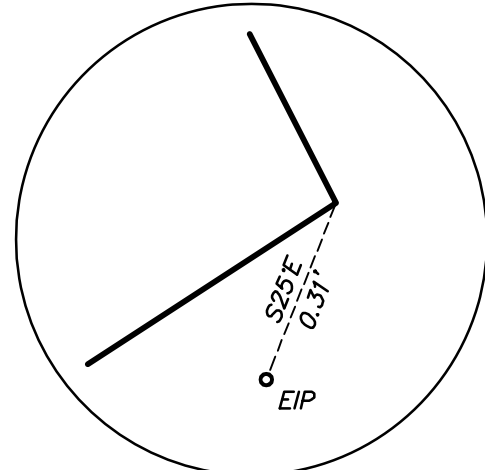
**CENTER DESIGN DEVELOPMENT
DETAILED SITE PLAN**
144 BROAD STREET WINDSOR, CONNECTICUT
PREPARED FOR
GRAVA PROPERTIES

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. NO. 9344	
 CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION
SCALE: 1 IN. = - FT. DATE: MARCH 14, 2023	
	
DETAILED SITE PLAN FOUNDER'S SQUARE PREPARED FOR GRAVA PROPERTIES COVER SHEET	
144 BROAD STREET WINDSOR, CONNECTICUT	

INSETS NOT TO SCALE



INSET "A"



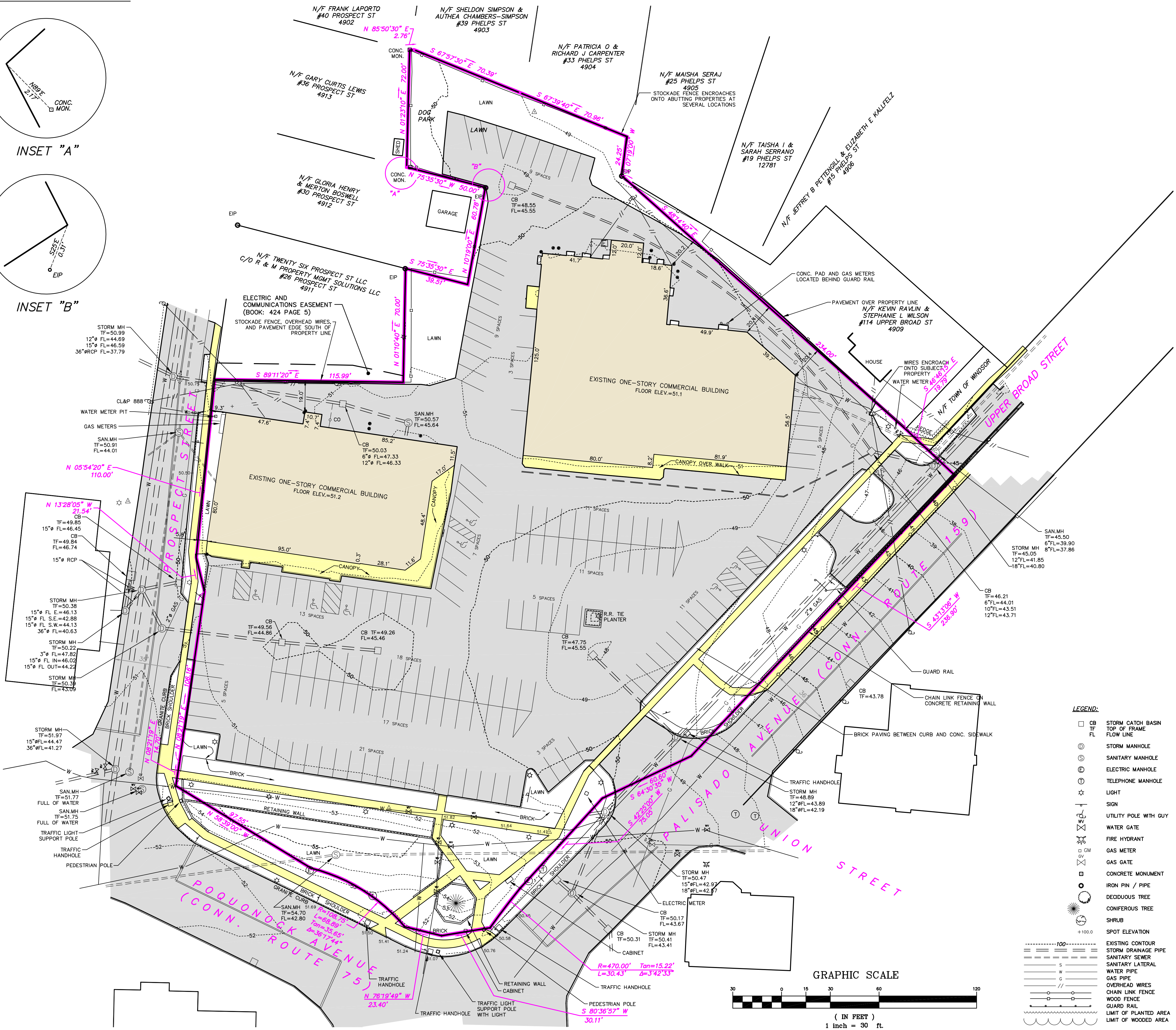
INSET "B"

SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS T-2.
2. PARCEL AREA = 140,612 SQ.FT. = 3.228 ACRES.
3. THE BEARINGS (NORTH ORIENTATION) SHOWN ARE BASED ON REFERENCE PLAN 1 NOTED HEREON. VERTICAL DATUM IS 1988 NORTH AMERICAN DATUM.

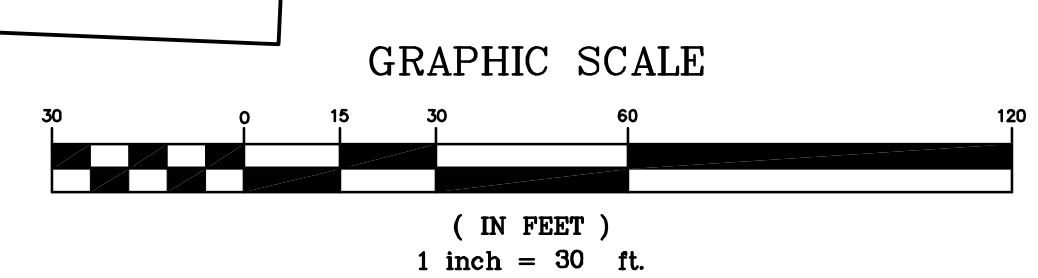
REFERENCE PLANS:

1. "IMPROVEMENT LOCATION SURVEY PREPARED FOR MASTRIANI REALTY, LLC, PROSPECT STREET, POQUONOCK AND PALISADO AVENUES, WINDSOR, CONN., SCALE: 1 IN.=40 FT., DATE: APRIL 29, 1999, REVISED 5-6-99, ALFORD ASSOCIATES, INC." TOWN CLERK MAP #4743
2. "PLOT PLAN FOR MARDORIC REALTY CO., INC., 144-48 AND 152-162 BROAD STREET, WINDSOR, CONNECTICUT, SCALE: 1"=30', JANUARY 25, 1988, DUBIEL ASSOCIATES' TOWN CLERK MAP #3277.
3. "LAND TO BE CONVEYED TO MASTRIANI REALTY, ROUTES 75 AND 159, SCALE: 1"=30', MARCH 30, 2021, DUBIEL ASSOCIATES"
4. "COMPILATION PLAN, TOWN OF WINDSOR, MAP SHOWING LAND RELEASED TO TOWN OF WINDSOR BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, BROAD STREET (CT ROUTE 75) & PALISADO AVENUE (CT ROUTE 159), SCALE 1"=40', JANUARY 2022 SCOTT A. HILL, P.E. TOWN NO. 164 PROJECT NO. 164-168 SERIAL NO. 4A SHEET 1 OF 1 DATE 5-2-22 CHRISTINE A. AUBREY, P.L.S. TITLE MANAGER OPERATIONS"
5. "PLAN TO SHOW PARCELS TO BE ACQUIRED FROM TOWN OF WINDSOR BY MASTRIANI REALTY, LLC 144 BROAD STREET WINDSOR, CONNECTICUT SCALE: 1 IN. = 30 FT. DATE: DEC. 12, 2022 ALFORD ASSOCIATES, INC."



LEGEND:

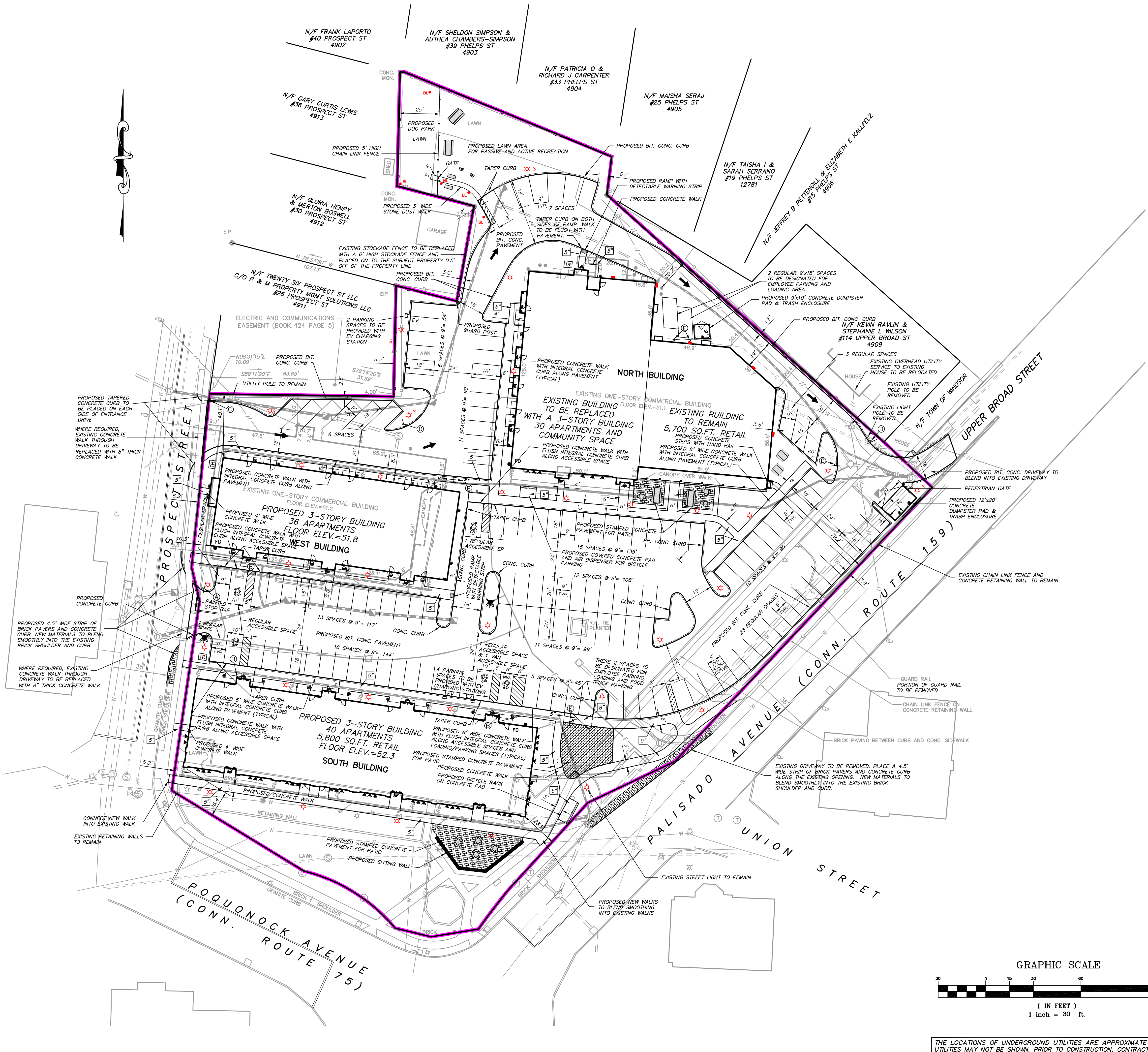
- CB STORM CATCH BASIN
- TF TOP OF FRAME
- FL FLOW LINE
- S STORM MANHOLE
- SM SANITARY MANHOLE
- EM ELECTRIC MANHOLE
- TM TELEPHONE MANHOLE
- ★ LIGHT
- ☆ SIGN
- U UTILITY POLE WITH GUY
- W WATER GATE
- F FIRE HYDRANT
- G GAS METER
- G GAS GATE
- C CONCRETE MONUMENT
- I IRON PIN / PIPE
- D DECIDUOUS TREE
- C CONIFEROUS TREE
- S SHRUB
- +100.0 SPOT ELEVATION
- EXISTING CONTOUR
- S SANITARY SEWER PIPE
- W SANITARY LATERAL WATER PIPE
- G GAS PIPE
- O OVERHEAD WIRES
- C CHAIN LINK FENCE
- W WOOD FENCE
- G GUARD RAIL
- L LIMIT OF PLANTED AREA
- W LIMIT OF WOODED AREA
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

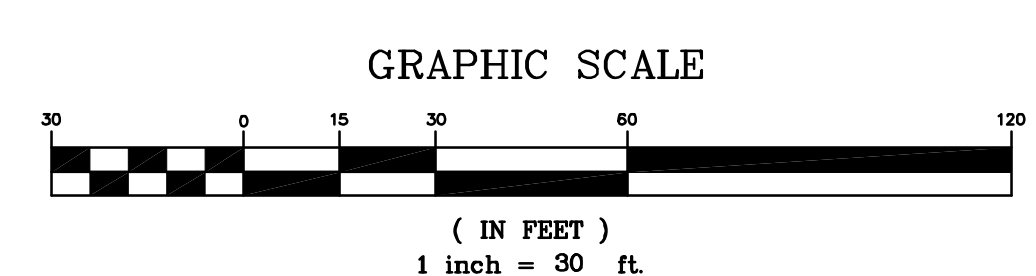
SHEET C1

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.		L.S. NO. 9344	
3-14-23 MISC. FOR DETAILED SITE PLAN			
2-6-23 ADDED LAND ALONG POQUONOCK AVENUE AND PALISADO AVENUE		CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION	SCALE: 1 IN. = 30 FT.	DATE: DEC. 14, 2021
DETAILED SITE PLAN FOUNDER'S SQUARE PREPARED FOR GRAVA PROPERTIES EXISTING CONDITIONS PLAN			
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL		144 BROAD STREET	WINDSOR, CONNECTICUT



- LEGEND -**
- PROPOSED IMPROVEMENTS:**
- TRANSFORMER ON CONCRETE PAD
 - ELECTRIC VEHICLE CHARGING STATION
 - DETECTABLE WARNING STRIP
 - PAINTED DIRECTIONAL ARROW
 - BIT. CONC.
 - CONCRETE
 - BENCH
 - BARBECUE GRILL
 - PICNIC TABLE
 - OUTDOOR TABLE
 - GUARD POST
 - 8" THICK CONCRETE WALK
 - 5" THICK CONCRETE WALK
 - STOP SIGN (31-0552)
 - ACCESSIBLE PARKING SIGN (31-0628(P)) WHERE POSSIBLE, A POST TO BE USED, OTHERWISE THE SIGN SHALL BE MOUNTED TO THE BUILDING
 - ONE WAY SIGN (31-1177R)
 - DO NOT ENTER SIGN (31-1119)
 - EMPLOYEE/LOADING AREA SIGN
- PROPOSED EXTERIOR LIGHTING FIXTURES:**
- LAMP POST
 - LAMP POST WITH SHIELD PLACED ON FIXTURE
 - BOLLARD LIGHT
 - WALL SCONCE
 - SIGN
 - WALL PACK

SHEET C2



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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. No. 9344	
CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION
SCALE: 1 IN. = 30 FT. DATE: MARCH 14, 2023	
<p>144 BROAD STREET</p> <p>WINDSOR, CONNECTICUT</p>	

PLANT LIST -

NOTES:

- IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- PROPOSED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES AND FILLED WITH A MIXTURE OF 80% TOPSOIL AND 20% PEAT MOSS. ALL PLANTING BEDS SHALL BE MULCHED WITH 4 INCHES OF 3/4" STONE, WOOD CHIPS OR WOOD BARK MULCH.
- ADJUSTMENTS IN THE LOCATION AND/OR NUMBER OF PROPOSED PLANTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. SUCH ADJUSTMENTS SHALL BE APPROVED BY THE DESIGN ENGINEER AND THE TOWN PLANNER.

TREES

NOTES PERTAINING TO TREES:

- AT TIME OF PLANTING, A SHADE TREE SHALL MEASURE THREE TO THREE AND ONE-HALF INCHES OR MORE IN DIAMETER BREAST HEIGHT. EXCEPT AS OTHERWISE NOTED, A FLOWERING TREE SHALL MEASURE TWO AND ONE-HALF TO THREE INCHES OR MORE IN DIAMETER BREAST HEIGHT. AN EVERGREEN TREE SHALL MEASURE SIX TO EIGHT FEET OR MORE IN HEIGHT TO THE BASE OF THE LEADER.

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
APB	7	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	6'-7" TALL B&B
APD	2	ACER PALMATUM DISSECTUM 'CRIMSON QUEEN'	CUTLEAF JAPANESE MAPLE	6'-7" TALL B&B
CC	5	CEROIS CANADENSIS	FOREST PANSY EASTER REDBUD	2 1/2"-3" CAL. B&B
CF	3	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	2 1/2"-3" CAL. B&B
CK	7	CORNUS KOUSA	KOUSA DOGWOOD	2 1/2"-3" CAL. B&B
PP	2	PICEA PUNGENS GLAUCA	BLUE COLORADO SPRUCE	6'-8" TALL B&B
SRI	4	SYRINGA RETICULATA 'IVORY SILK'	TREE LILAC	2 1/2"-3" CAL. B&B
TC	3	TILIA CORDATA	LITTLE LEAF LINDEN	3"-3 1/2" CAL. B&B

SHRUBS

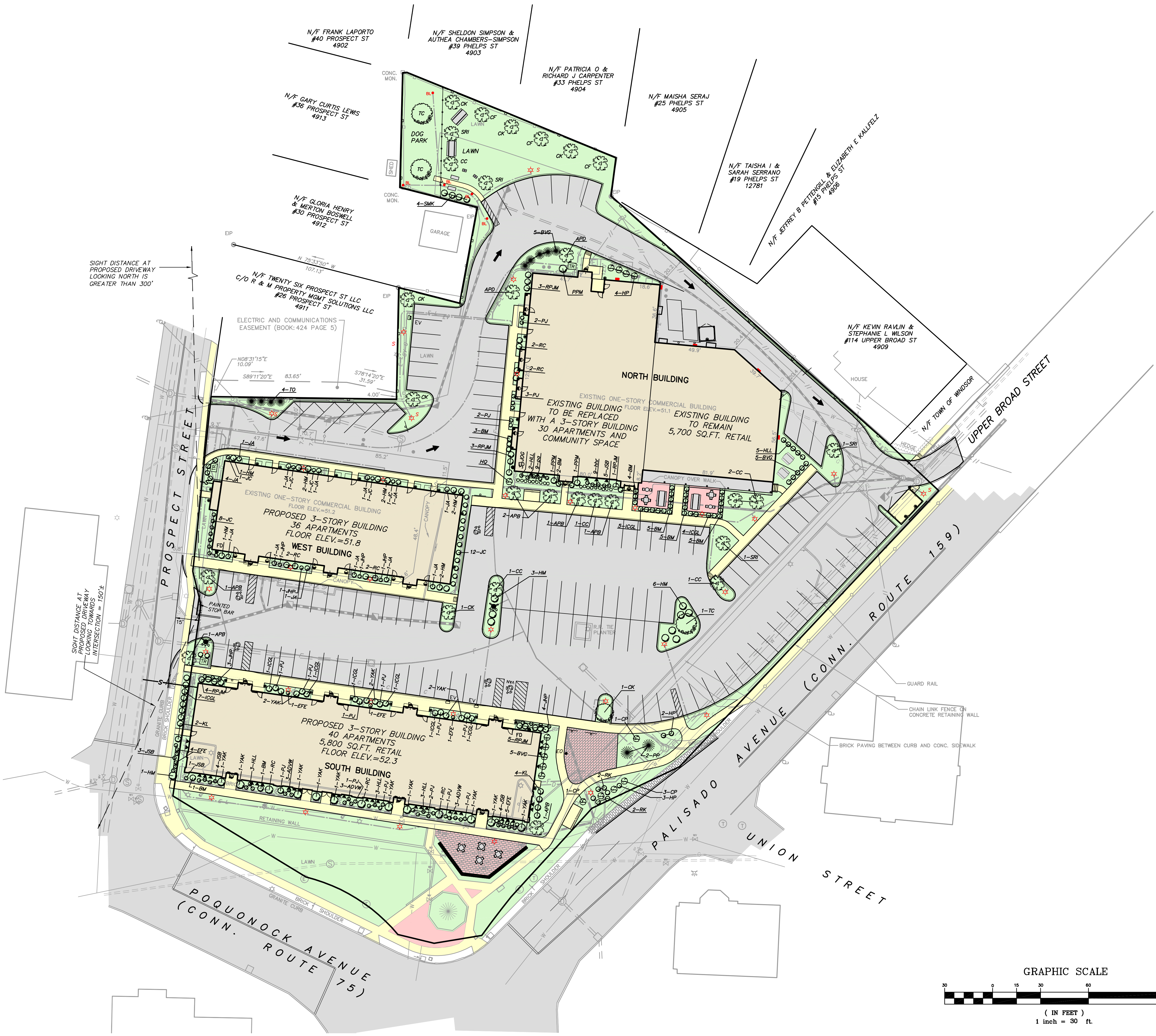
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
ADVW	9	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	3 GALLON CONTAINER
BM	26	BUXUS MICROPHYLLA KOREANA	KOREAN BOXWOOD	3 GALLON CONTAINER
BVG	15	BUXUS x. 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"-24" TALL B&B
CP	5	CHAMAECYPARIS PISIFERA 'FILIFERA AUREA'	GOLDTHREAD FALSECYPRESS	3 GALLON CONTAINER
EFE	12	EUONYMUS FORTUNEI 'EMERALD GAJET'	EMERALD GAJET EUONYMUS	2 GALLON CONTAINER
HLL	16	HYDRANGEA p. 'LITTLE LIME'	LITTLE LIME HYDRANGEA	3 GALLON CONTAINER
HM	20	HYDRANGEA MACROPHYLLA 'ALL SUMMER BEAUTY'	BIGLEAF HYDRANGEA	3 GALLON CONTAINER
HP	9	HYDRANGEA PANICULATA 'PINK DIAMOND'	PINK DIAMOND PANICLED HYDRANGEA	3 GALLON CONTAINER
HO	1	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 GALLON CONTAINER
ICGL	22	ILEX CRENATA 'GREEN LUSTER'	GREEN LUSTRE JAPANESE HOLLY	3 GALLON CONTAINER
JA	18	JAPONICUS 'AUROMARGINATUS'	GOLDEN EUONYMUS	3 GALLON CONTAINER
JC	25	JUNIPERUS CHINENSIS SARGENTII 'VIRIDIS'	GREEN SARGENT JUNIPER	3 GALLON CONTAINER
JHP	11	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	PRINCE OF WALES JUNIPER	3 GALLON CONTAINER
JOG	3	JUNIPERUS x PFTZERIANA 'OLD GOLD'	OLD GOLD JUNIPER	3 GALLON CONTAINER
JSB	17	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	3 GALLON CONTAINER
KL	6	KALMIA LATIFOLIA 'MINUET'	MINUET MOUNTAIN LAUREL	3 GALLON CONTAINER
PJ	20	PIERIS JAPONICA 'DOROTHY WYCKOFF'	MOUNTAIN ANDROMEDA	3 GALLON CONTAINER
PPM	3	PICEA PUNGENS 'MONTGOMERY'	HOOPS SPRUCE	5 GALLON CONTAINER
RC	11	RHODODENDRON 'CHIONOIDES'	CHIONOIDES RHODODENDRON	3 GALLON CONTAINER
RK	4	ROSA 'PINK KNOCKOUT'	PINK KNOCKOUT ROSE	3 GALLON CONTAINER
RPJM	16	RHODODENDRON PJM	PJM RHODODENDRON	3 GALLON CONTAINER
YAK	16	RHODODENDRON DEGRONIANUM YAKUSHIMANUM	YAK RHODODENDRON CAN BE DIFFERENT VARIETIES, BUT KEEP SAME VARIETY IN EACH GROUPING	3 GALLON CONTAINER
SMK	4	SYRINGA p. 'MISS KIM'	MISS KIM LILAC	3 GALLON CONTAINER
TO	4	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6" TALL B&B

PERENNIALS

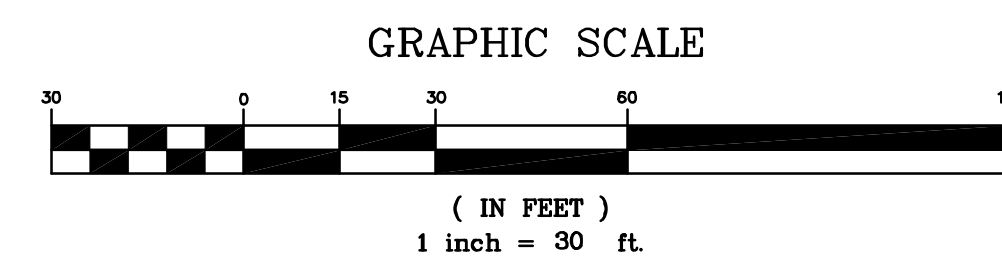
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
hhr	9	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAY LILY	1 GALLON CONTAINER
pa	9	PEROVSKIA ATRICULIFOLIA	RUSSIAN SAGE	1 GALLON CONTAINER

NOTES -

- AT ALL TIMES, THE OWNER OF THE SUBJECT PROPERTY SHALL MAINTAIN ANY VEGETATION THAT MAY IMPACT SIGHT LINES AT ALL INTERNAL DRIVEWAYS AND AT THE INTERSECTION OF THE SITE DRIVEWAY WITH PROSPECT STREET.

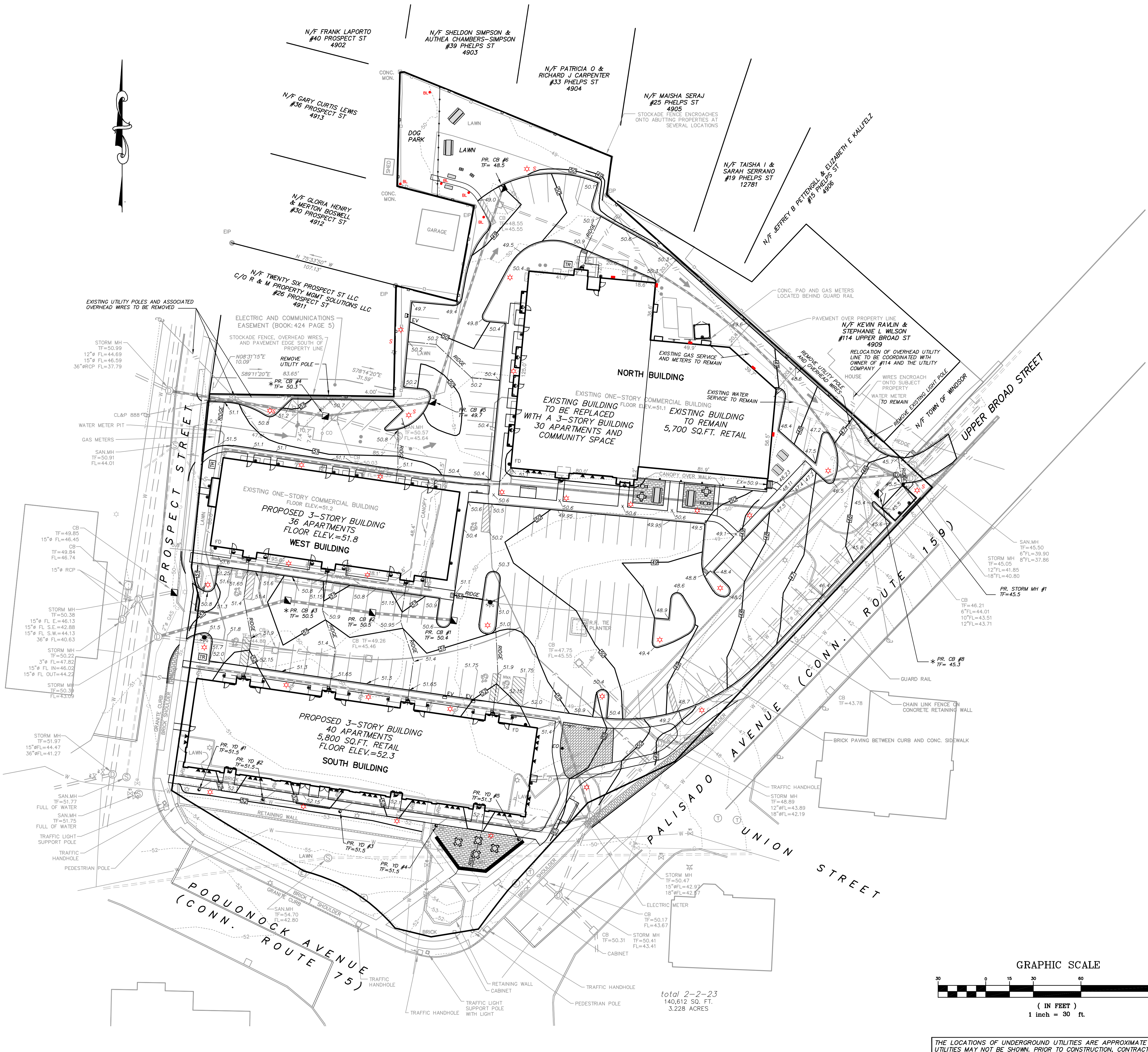
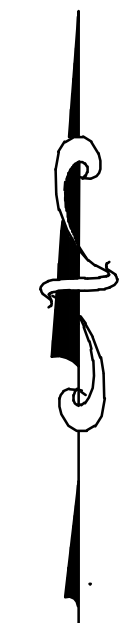


SHEET C3

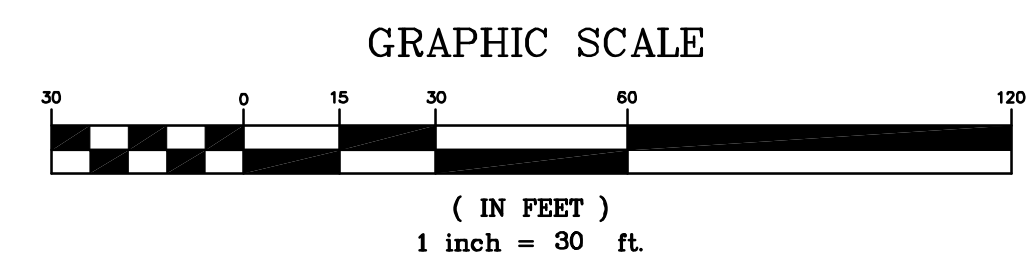


THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. NO. 9344	
CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION
SCALE: 1 IN. = 30 FT. DATE: MARCH 14, 2023	
DETAILED SITE PLAN FOUNDER'S SQUARE PREPARED FOR GRAVA PROPERTIES PROPOSED LANDSCAPING PLAN	
144 BROAD STREET WINDSOR, CONNECTICUT	



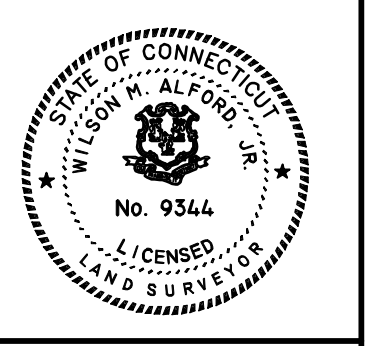
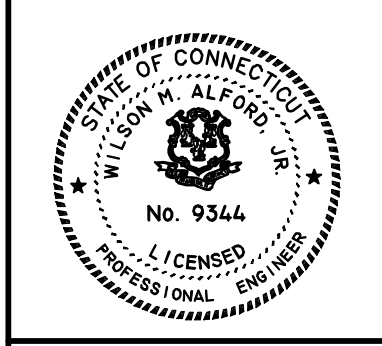
- LEGEND**
- PROPOSED IMPROVEMENTS:
- CONTOUR
 - SPOT GRADE
 - GRADE TO DRAIN
 - STORM DRAINAGE PIPE
 - CATCH BASIN
 - YARD DRAIN
 - TOP OF FRAME ELEVATION
 - ROOF LEADER



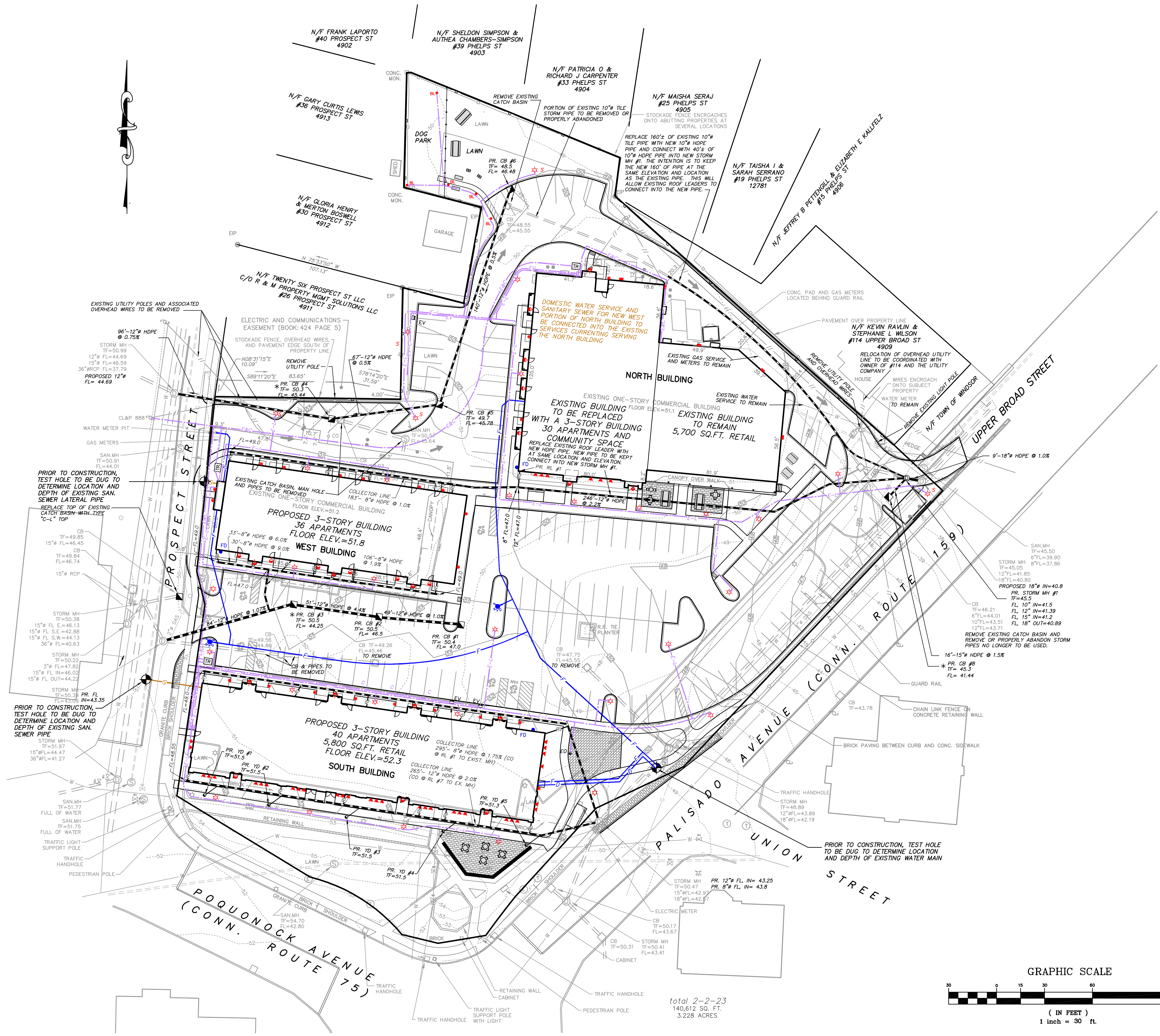
THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

SHEET C4

<p>TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.</p> <p>L.S. No. 9344</p> <p>Alford ASSOCIATES, INC.</p> <p>CIVIL ENGINEERS WINDSOR, CONNECTICUT</p> <p>WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288</p>	
DATE	REVISION
<p>SCALE: 1 IN. = 30 FT. DATE: MARCH 14, 2023</p>	
<p>144 BROAD STREET WINDSOR, CONNECTICUT</p>	

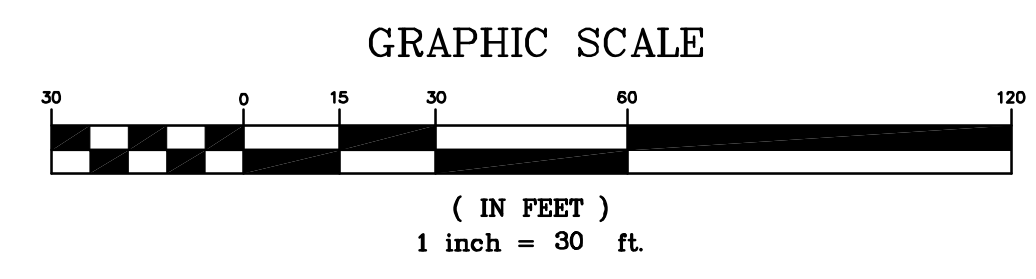


DETAILED SITE PLAN
FOUNDER'S SQUARE
PREPARED FOR
GRAVA PROPERTIES
PROPOSED GRADING PLAN



- LEGEND**
PROPOSED IMPROVEMENTS:
- STORM DRAINAGE PIPE
 - CATCH BASIN
 - AN ASTERISK INDICATES THAT CATCH BASIN STRUCTURE SHALL BE A HYDRODYNAMIC SEPARATOR (CATCH BASINS #3, #4 AND #8)
 - TF TOP OF FRAME ELEVATION
 - FL INVERT ELEVATION
 - YD YARD DRAIN
 - CLEANOUT
 - ROOF LEADER COLLECTOR LINE
 - ROOF LEADER
 - SANITARY SEWER LATERAL
 - LATERAL PIPE TO BE 6" AND IN CONFORMANCE WITH MDC STANDARDS
 - FIRE WATER SERVICE
 - DOMESTIC WATER SERVICE
 - NOTE FOR PROPOSED WATER SERVICES - SIZE OF DOMESTIC AND FIRE WATER LINES TO BE DETERMINED BY THE MECHANICAL ENGINEER. FINAL DETERMINATION OF WATER, DOMESTIC AND FIRE SERVICE MATERIALS, RESTRAINTS AND METERS SHALL BE COORDINATED WITH THE MDC.
 - HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - TRANSFORMER
 - OUTDOOR ELECTRICAL OUTLET
 - ELECTRIC SERVICE, TELEPHONE AND CABLE LINES
 - ELECTRIC SERVICE LINE FOR ELECTRIC VEHICLE CHARGING STATIONS
 - ELECTRIC VEHICLE CHARGING STATION
 - ELECTRICAL CONDUIT FOR POSSIBLE FUTURE ELECTRIC VEHICLE CHARGING STATIONS
 - ELECTRIC SERVICE LINE FOR LIGHT POLE FIXTURES
 - PROPOSED EXTERIOR LIGHTING FIXTURES:
 - LAMP POST
 - LAMP POST WITH SHIELD PLACED ON FIXTURE
 - BOLLARD LIGHT
 - WALL SCONCE
 - SIGN
 - WALL PACK

SHEET C5



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.		L.S. No. 9344	
		Alford ASSOCIATES, INC. CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION	SCALE: 1 IN. = 30 FT.	DATE: MARCH 14, 2023
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL		144 BROAD STREET WINDSOR, CONNECTICUT	

CONSTRUCTION AND EROSION AND SEDIMENTATION CONTROL NARRATIVE -

1. THE SUBJECT PROPERTY IS A 3.228 ACRE PARCEL LOCATED AT THE NORTHWEST INTERSECTION OF POQUONOCK AVENUE (CT ROUTE 75) WITH PALISADO AVENUE (CT ROUTE 159). PROSPECT STREET LIES ON THE WEST SIDE OF THE PARCEL. EXISTING ON THE PROPERTY IS A TWO BUILDING MIXED USE STRIP MALL. THE WEST BUILDING IS BEING USED FOR A RESTAURANT, DANCE STUDIO AND A REAL ESTATE OFFICE. THE EAST HALF OF THE NORTH BUILDING IS BEING USED FOR A GIFT SHOP AND RESTAURANTS WITH THE WEST HALF OF THE BUILDING BEING VACANT. THERE ARE NO WETLANDS LOCATED ON PARCEL AND IS ZONED "B-2".
2. THE PROPOSAL IS TO CONSTRUCT TWO (2) NEW BUILDINGS AND TO RECONSTRUCT THE WEST HALF OF THE EXISTING NORTH BUILDING. ONE OF THE NEW BUILDINGS WILL BE BUILT ON THE SOUTH SIDE OF THE PARCEL AND WILL BE A 3-STORY MIXED USE BUILDING. THE SECOND NEW BUILDING WILL BE A 3-STORY APARTMENT BUILDING AND WILL BE BUILT IN THE SAME LOCATION AS THE EXISTING WEST BUILDING. NEW PORTION OF THE NORTH BUILDING WILL BE THREE (3) STORIES AND WILL BE USED FOR APARTMENTS AND AMENITIES FOR THE APARTMENTS.
3. THE ANTICIPATED START OF CONSTRUCTION IS PLANNED FOR THE SPRING OF 2023 WITH FINAL COMPLETION PLANNED FOR 2025.

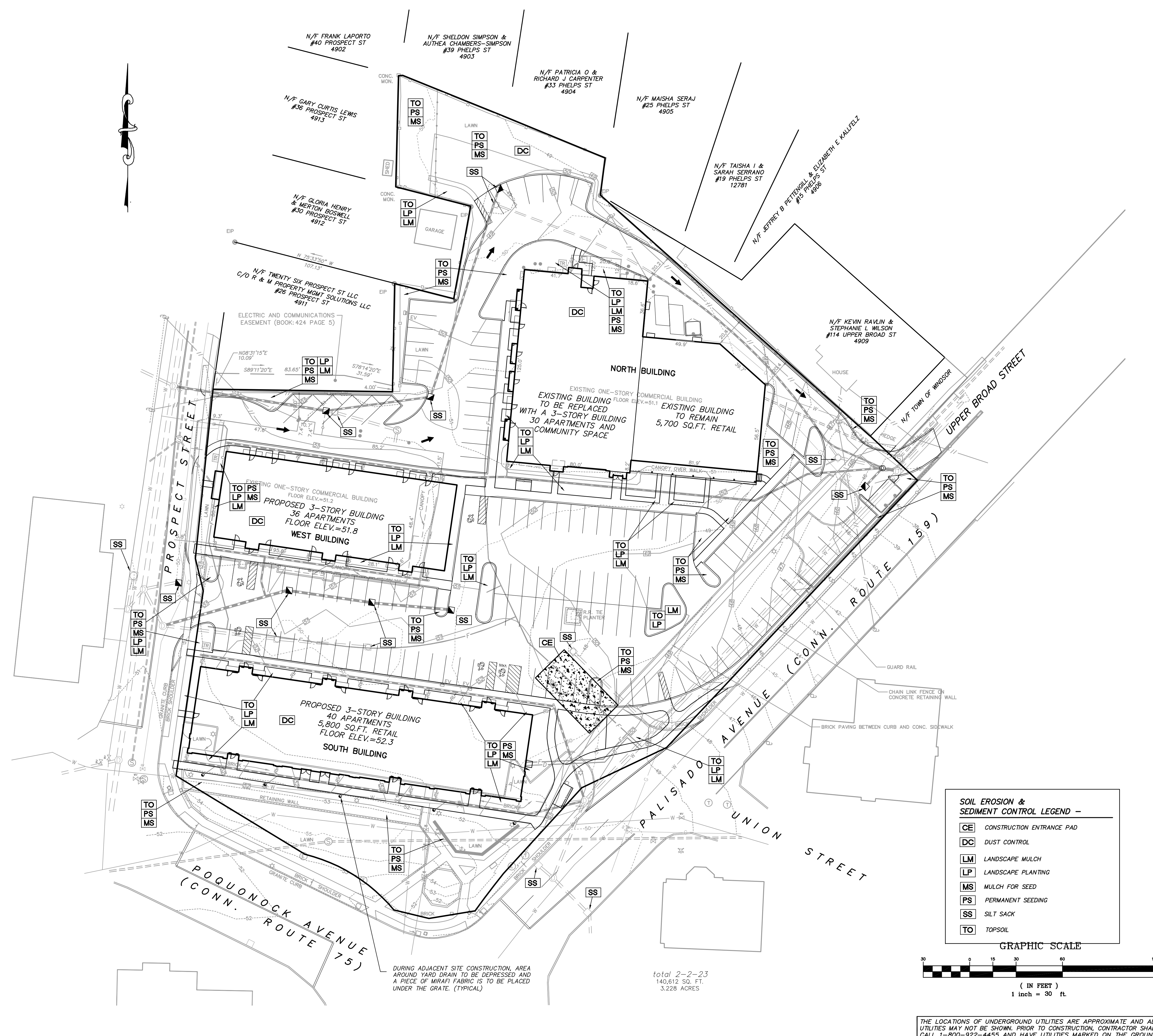
SEQUENCE OF CONSTRUCTION:

- A) THE INTENTION OF THE PLAN IS TO FIRST CONSTRUCT THE NEW SOUTH BUILDING AND REMOVE THE WEST PORTION OF THE NORTH BUILDING. THE EXISTING WEST BUILDING AND THE EAST HALF OF THE NORTH BUILDING ARE TO REMAIN AND OPEN DURING SITE CONSTRUCTION WITH SUFFICIENT ACCESS AND PARKING BEING MAINTAINED.
- B) INSTALL SILT SACKS INTO TOPS OF EXISTING CATCH BASINS.
- C) INSTALL CONSTRUCTION ENTRANCE PAD.
- D) REMOVE EXISTING IMPROVEMENTS AND TREES WITHIN THE AREA OF THE PROPOSED SOUTH BUILDING.
- E) DEMOLISH WEST HALF OF NORTH BUILDING AND REMOVE ASSOCIATED IMPROVEMENTS.
- F) CONSTRUCT SOUTH BUILDING AND WEST HALF OF THE NORTH BUILDING.
- G) INSTALL STORM DRAINAGE STRUCTURES, STORM PIPES AND OTHER UTILITIES. INSTALL SILT SACKS IN CATCH BASIN TOPS.
- H) CONSTRUCT PAVEMENT AREAS AND OTHER SITE IMPROVEMENTS.
- I) INSTALL PLANT MATERIAL, LOAM AND SEED FOR PERMANENT COVER. IF PERMANENT COVER IS NOT DESIRABLE AT THE TIME OF SEEDING, USE TEMPORARY SEEDING COVER PER VEGETATIVE COVER SCHEDULE.
- J) UPON COMPLETION OF THE SOUTH BUILDING AND RECONSTRUCTED PORTION OF THE NORTH BUILDING, EXISTING BUSINESSES WILL BE MOVED INTO THE NEW BUILDINGS. CONSTRUCT NEW WEST BUILDING AND ASSOCIATED IMPROVEMENTS USING THE SAME APPLICABLE PROCEDURES AND EROSION AND SEDIMENTATION CONTROLS REQUIRED FOR THE PREVIOUS CONSTRUCTION.
- K) THROUGHOUT CONSTRUCTION AND AT LEAST ONCE A WEEK, INSPECT SILT SACKS IN CATCH BASINS AND TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. SEED ALL AREAS TO ESTABLISH VEGETATIVE COVER. REMOVE SILT SACKS WHEN CONTRIBUTING AREAS ARE STABILIZED.
- L) THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS AND ALL REMOVED TREES (INCLUDING THE MAJOR ROOT SYSTEM), STUMPS, BRUSH ETC., OFF-SITE AND IN A PROPER SATISFACTORY MANNER. ALL EXCAVATIONS MADE BELOW SUBGRADE SURFACE BY THE REMOVAL OF TREES, STUMPS, ETC. SHALL BE FILLED WITH SUITABLE MATERIAL, WHICH SHALL BE COMPACTED THOROUGHLY. THE OWNER OF THE PROPERTY AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.

GENERAL NOTES -

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
2. ALL SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
3. A STOCKPILE OF CRUSHED STONE, GEOTEXTILE FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
4. MIRAFI FABRIC FENCE SHALL BE KEPT ON-SITE IN THE EVENT OF AN EMERGENCY OR TOWN REQUEST FOR ADDITIONAL EROSION PROTECTION DURING CONSTRUCTION.
5. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS OF ANY DEBRIS AND SEDIMENTS FROM THE CONSTRUCTION ACTIVITIES.
7. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL. IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE FENCE.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", PREPARED BY THE CONNECTICUT DEP.
9. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
10. ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF WINDSOR'S "STORMWATER MANAGEMENT ORDINANCE".
11. THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF EMERGENCY EROSION OR SEDIMENTATION FAILURE.
12. AFTER A RAIN STORM, HAY BALES, MIRAFI FABRIC FENCE AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
13. NO STUMPS SHALL BE BURIED ON THE SUBJECT PROPERTY.
14. WHEN ACTIVITIES HAVE STOPPED, DISTURBED AREAS MUST BE SEEDED WITH PERENNIAL RYE GRASS OR SIMILAR GROUND COVER.

SHEET C6

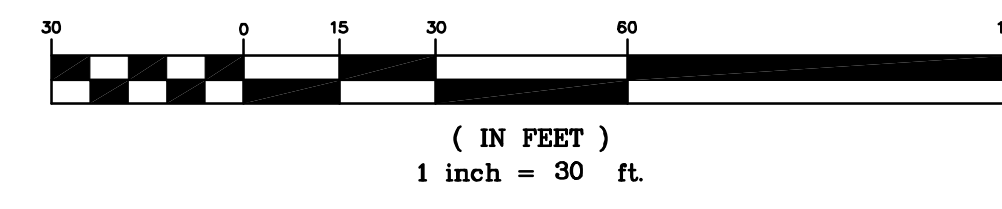


SOIL EROSION & SEDIMENT CONTROL LEGEND -

- CE CONSTRUCTION ENTRANCE PAD
- DC DUST CONTROL
- LM LANDSCAPE MULCH
- LP LANDSCAPE PLANTING
- MS MULCH FOR SEED
- PS PERMANENT SEEDING
- SS SILT SACK
- TO TOPSOIL

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

DURING ADJACENT SITE CONSTRUCTION, AREA AROUND YARD DRAIN TO BE DEPRESSED AND A PIECE OF MIRAFI FABRIC IS TO BE PLACED UNDER THE GRATE. (TYPICAL)

total 2-2-23
140,612 SQ. FT.
3.228 ACRES

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. No. 9344	CIVIL ENGINEERS WINDSOR, CONNECTICUT
Alford ASSOCIATES, INC.	
WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	L.S. No. 9344 LICENSED LAND SURVEYOR
DATE	REVISION
SCALE: 1 IN. = 30 FT. DATE: MARCH 14, 2023	
DETAILED SITE PLAN FOUNDER'S SQUARE PREPARED FOR GRAVA PROPERTIES EROSION AND SEDIMENTATION CONTROL PLAN 144 BROAD STREET WINDSOR, CONNECTICUT	

ZONING DATA TABLE

THE PROPERTY IS ZONED B-2
 THE PROPOSAL IS TO DEVELOP THE PROPERTY AS A CENTER DESIGN DEVELOPMENT (§ 13 OF THE ZONING REGULATIONS)
 THE PROPOSAL CONSISTS OF:
 11,500 SQUARE FEET OF RETAIL USE
 40 STUDIO + 66 ONE-BEDROOM = 106 DWELLING UNITS

Site Standards	Required / Permitted	Provided
Minimum Lot Area	0.5 Acres	3.228
Maximum Residential Density	35 bedrooms / Acre	32.8 bedrooms / Acre
Maximum Building Height	3 Stories or 45 ft	35-45 ft
Maximum Building Coverage	30%	26.3%
Minimum Ground-Level Paved or Landscaped Area Accessible only to Pedestrians	20%	33.7%
Yards	Discretion of Commission	Closest: North Building- 20.2' to north property line West Building- 6.2' to Prospect St. right-of-way line South Building- 5.0' to Prospect St. right-of-way line

Parking Standards

RETAIL

1 space per 200 sf (§3.3.5.F.(1)(a))	11,500 sf X 1 per 200 sf = 57.5 spaces
10% Reductions §3.3.1.E.(2):	
(a) Neighborhood-oriented	57.5 x -10% = -5.75 spaces
(b) Near public parking	57.5 x -10% = -5.75 spaces
(c) Near mass transit	57.5 x -10% = -5.75 spaces

-17 SPACES	
MINIMUM PARKING SPACES REQUIRED FOR RETAIL = 58-17 = 41 SPACES	

RESIDENTIAL

Minimum Residential	1 space per dwelling unit	106 Units X 1 per unit = 106 SPACES MIN.
Maximum Residential	1 space per studio/1BR Unit	106 Units X 1 per UNIT = 106 spaces
	1.5 spaces per 2BR Unit	0 Units X 1.5 per unit = 0 spaces
		= 106 SPACES MAX.

TOTAL REQUIRED PARKING
 MINIMUM = 41 + 106 = 147 SPACES
 MAXIMUM = 58 + 106 = 164 SPACES

TOTAL PARKING PROVIDED = 147 SPACES

Building Standards	Required / Permitted	Provided	Expected Future Revision
Minimum Living Area			
Studios	No unit <500SF	Studios are >560SF	Studios are >560SF
1 Bedroom/Studio Units	Avg. living area per unit >650SF	Avg living area >683SF	Avg living area >690SF
2 Bedroom Units	Avg. living area per unit >950SF	Avg living area >980SF	Avg living area >980SF
Facades	Must be varied	Complies	Complies

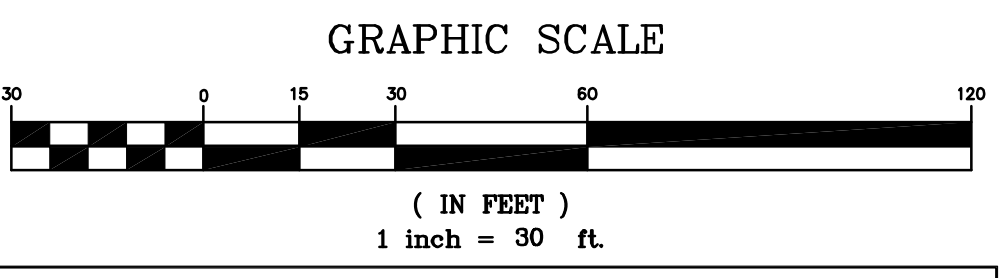
LEGEND:

- ③ NUMBER OF PARKING SPACES
- CONCRETE PAVEMENT
- PATIO
- BITUMINOUS PAVEMENT
- LAWN / LANDSCAPED AREA
- EXISTING CONTOUR
- PROPOSED CONTOUR
- OUTDOOR PATIO FURNITURE
- BARBECUE GRILL

THERE ARE NO
 - Special Flood Hazard Areas,
 - Designated inland wetlands and watercourses,
 - heavily forested or steeply-sloped portions of the site.

ON MARCH 14, 2023, THE WINDSOR TOWN PLANNING & ZONING COMMISSION APPROVED THE DESIGN DEVELOPMENT CONCEPT PLAN

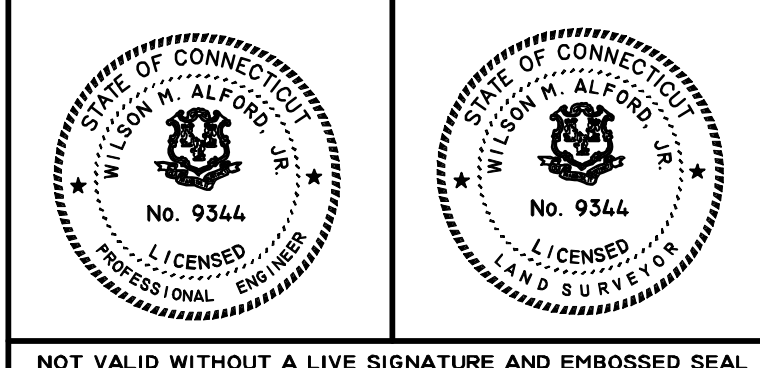
1. WAIVER FOR PARKING LOTS ADJACENT TO PROPERTY AND RIGHT-OF-WAY LINES: Per 3.1.2.C.(1),(b),(iv)
2. WAIVER FOR PARKING LOTS ADJACENT TO BUILDINGS: Per 3.1.2.C.(2),(a),(ii)
3. WAIVER FOR INTERIOR LANDSCAPED ISLANDS - Section 3.1.2.C.(3)
4. WAIVER FOR 20' REQUIRED YARD - Section 1.3.1.3B(2)



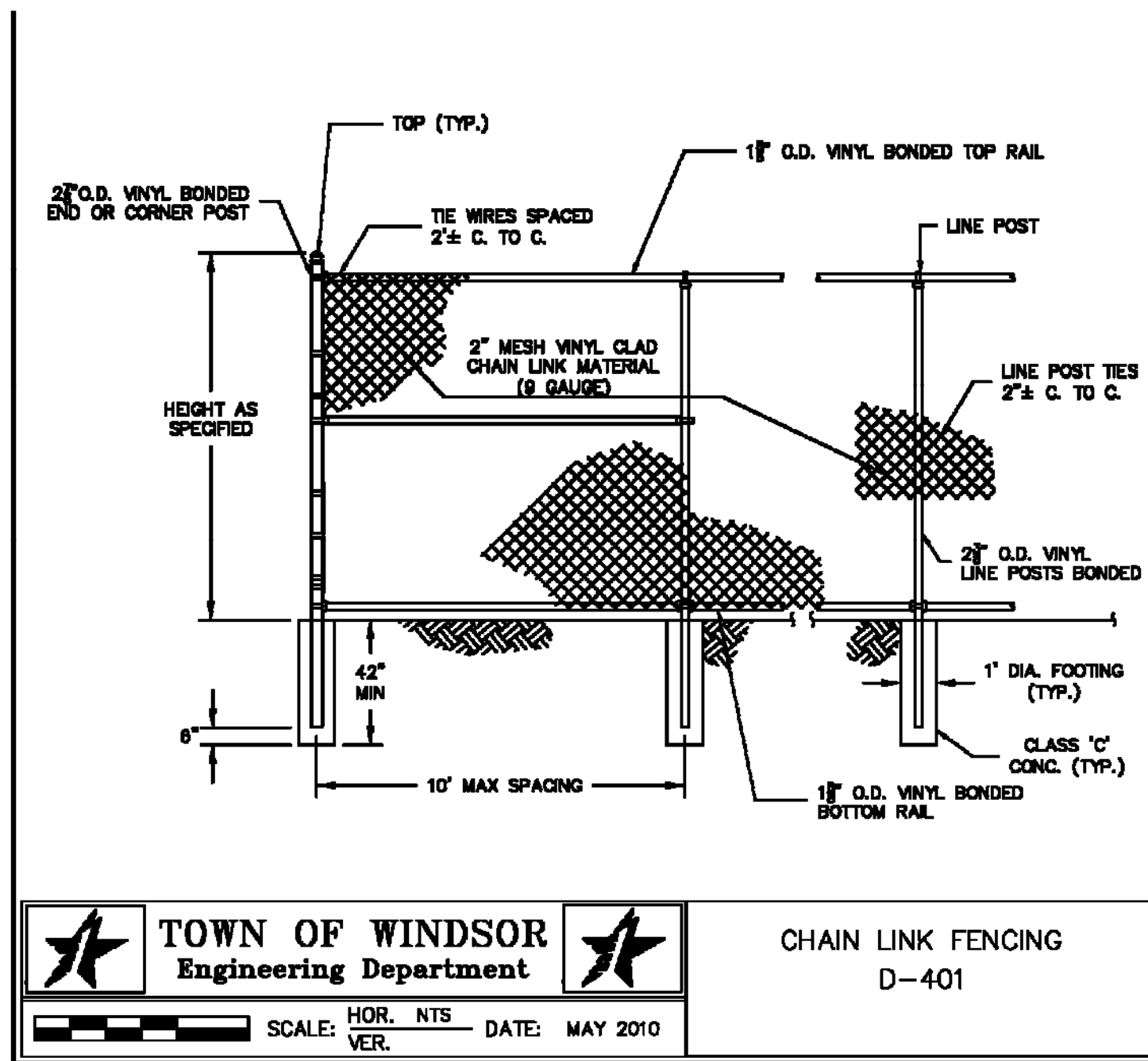
THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

SHEET C7

3-15-23	ADDED TP&ZC APPROVAL INFORMATION FOR DESIGN DEVELOPMENT CONCEPT PLAN	TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. L.S. No. 9344 Alford ASSOCIATES, INC. CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288
2-6-23	ADDED PROPOSED WEST BUILDING AND RELATED IMPROVEMENTS	
8-1-2022	ADD TP&ZC APPROVAL INFORMATION FOR DESIGN DEVELOPMENT CONCEPT PLAN	
6-2-2022	ADD ZONING TABLE; REVISE REAR PARKING AREA	
DATE	REVISION	SCALE: 1 IN. = 30 FT. DATE: MAY 5, 2022

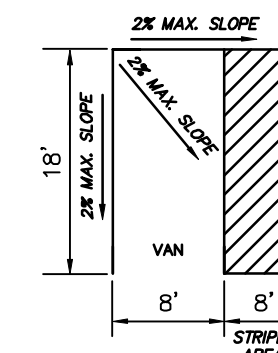
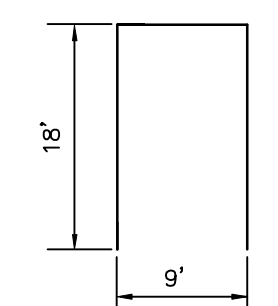


CONCEPT PLAN
FOUNDER'S SQUARE
 PREPARED FOR
GRAVA PROPERTIES
 144 BROAD STREET WINDSOR, CONNECTICUT

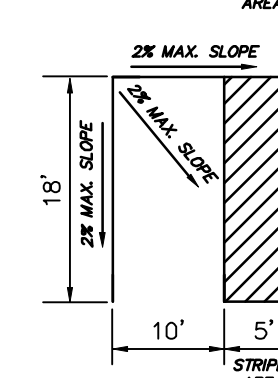


PARKING SPACE DIMENSIONS - NOT TO SCALE

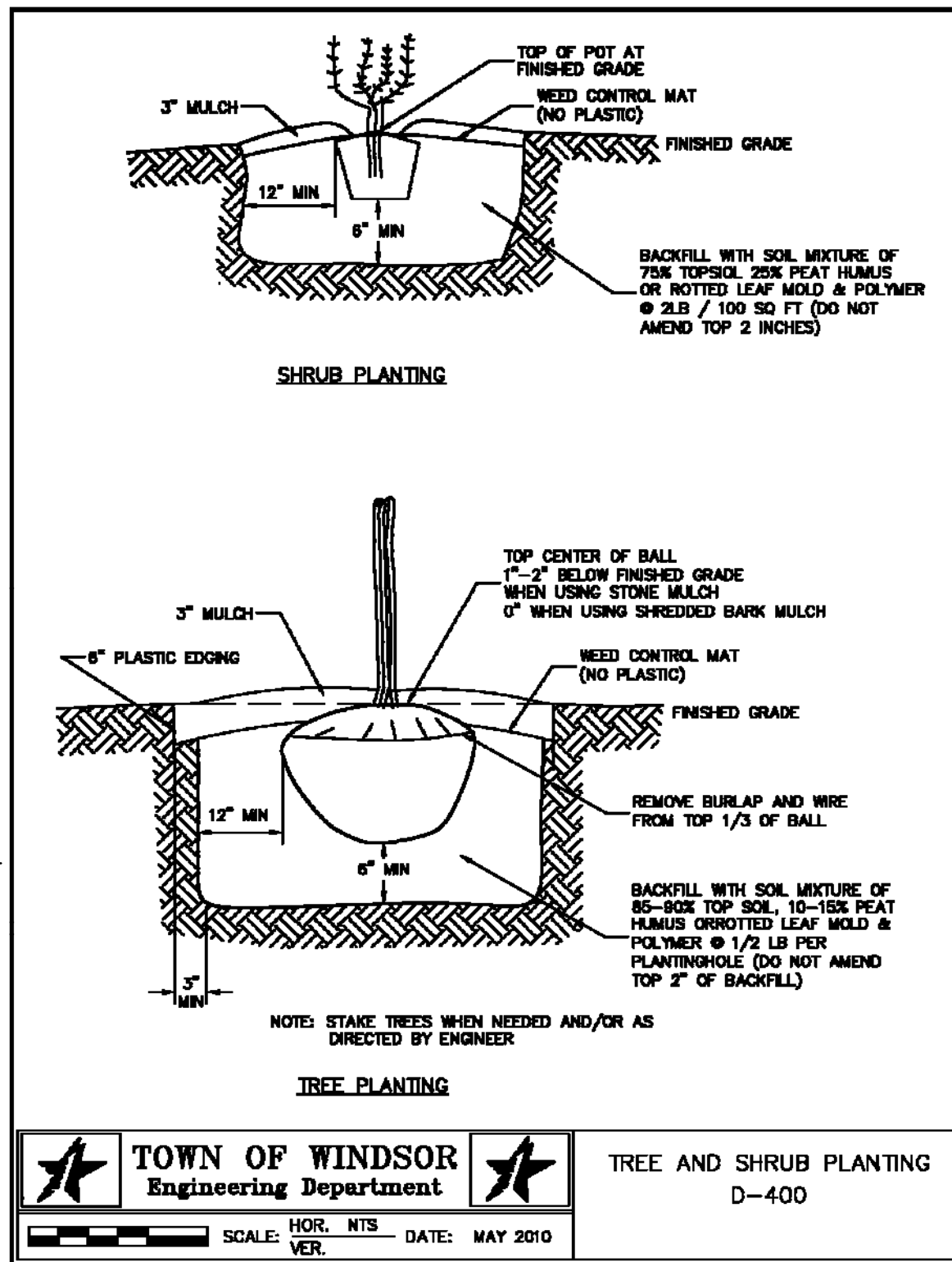
REGULAR PARKING SPACE:



VAN HANDICAPPED PARKING SPACE - VAN HANDICAPPED PARKING SPACES SHALL BE SIGNED IN ACCORDANCE WITH THE STATE REQUIREMENTS

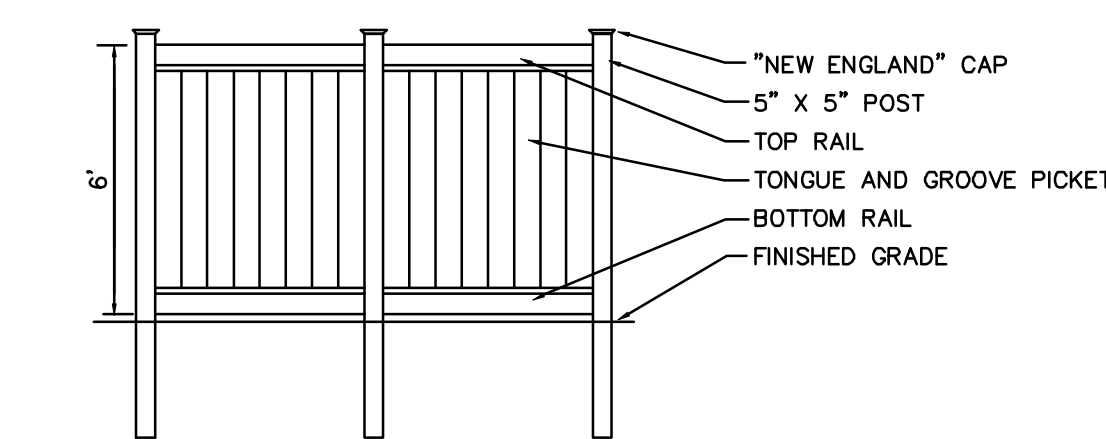


REGULAR HANDICAPPED PARKING SPACE - HANDICAPPED PARKING SPACES SHALL BE SIGNED IN ACCORDANCE WITH THE STATE REQUIREMENTS

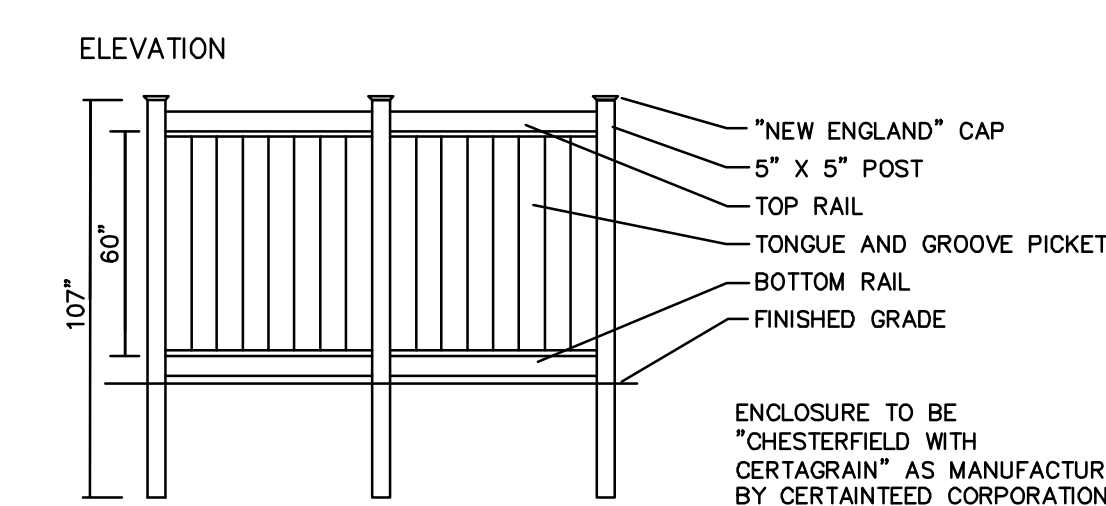


STOCKADE FENCE DETAIL - NOT TO SCALE

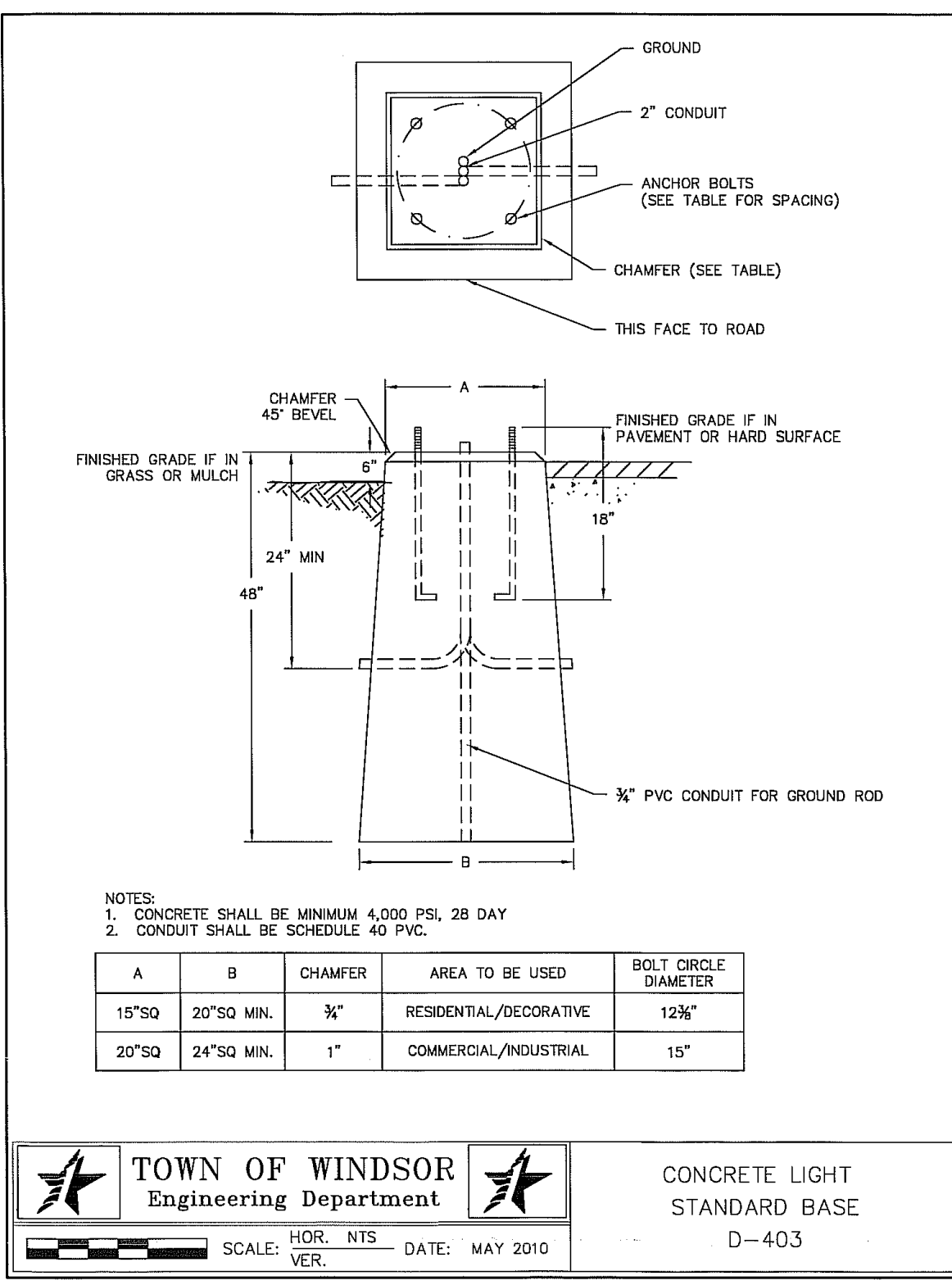
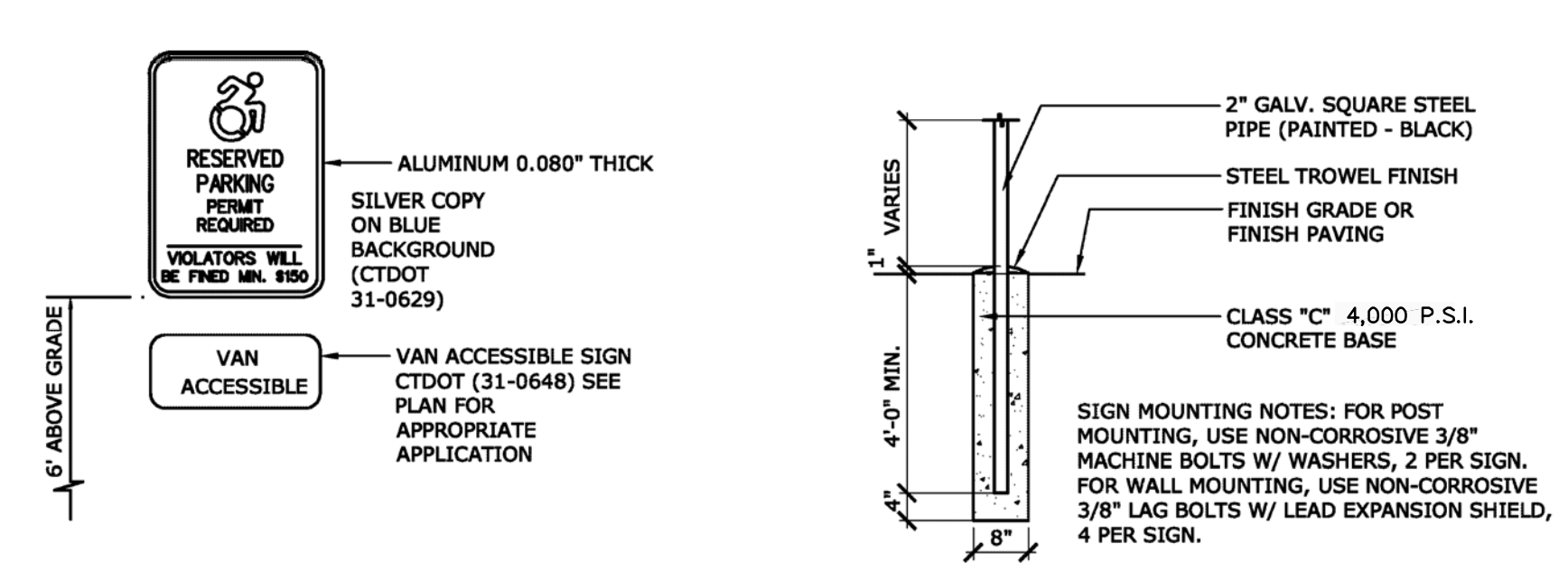
FENCE TO BE "CHESTERFIELD WITH CERTAGRAIN TEXTURE" AS MANUFACTURED BY CERTAINTED CORPORATION OR APPROVED EQUAL. TO BE TAN OR GRAY. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



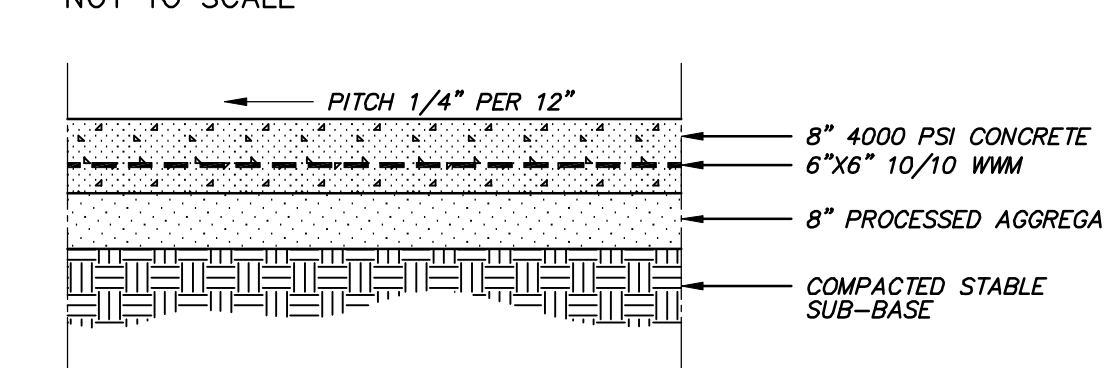
TRASH ENCLOSURE - NOT TO SCALE



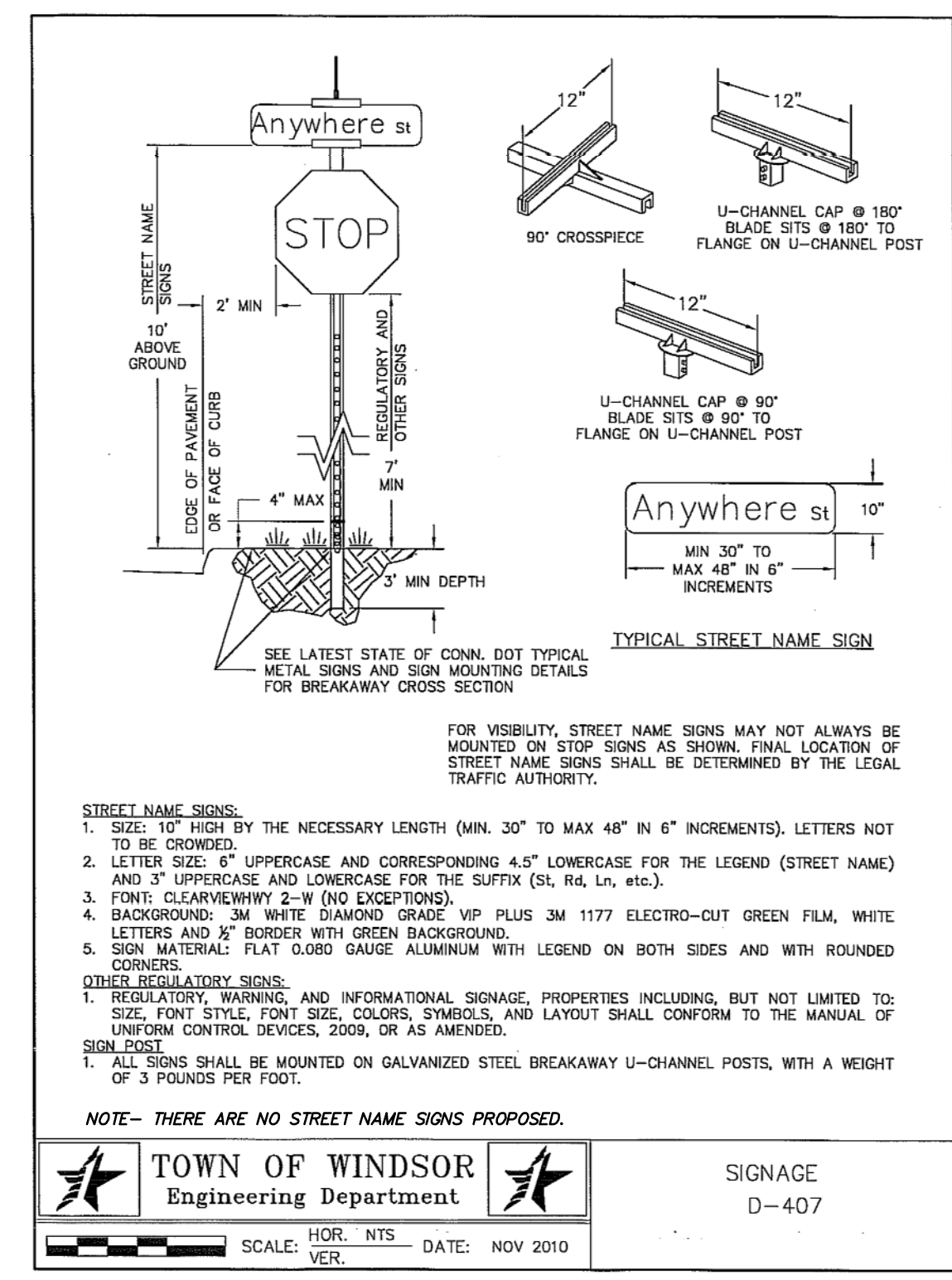
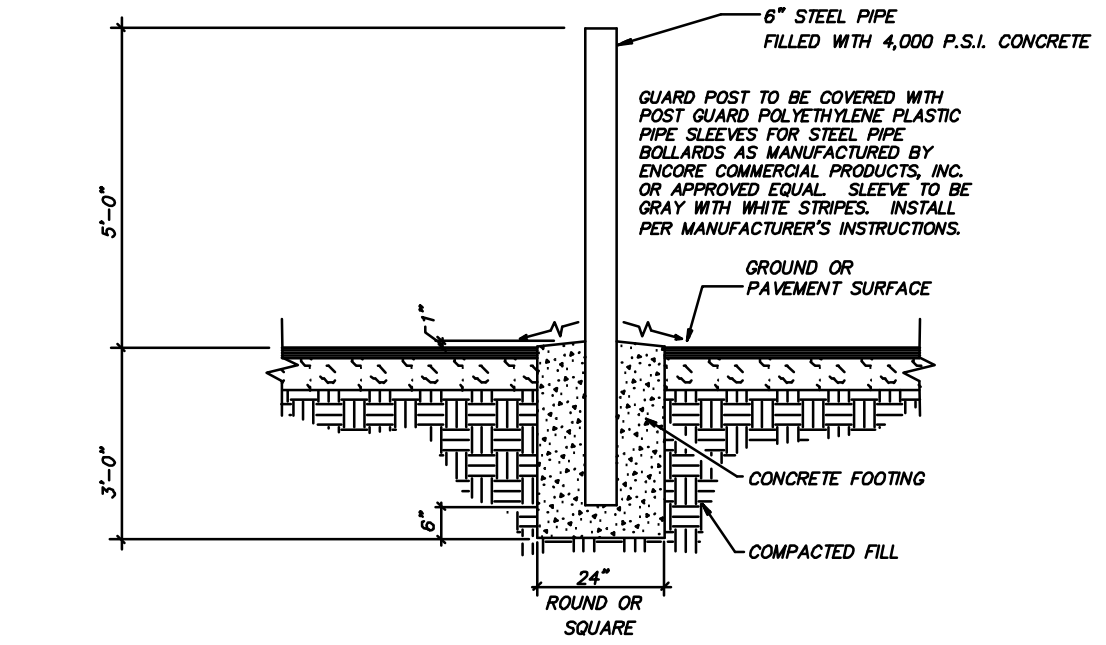
RESERVED PARKING SIGN AND POST - NOT TO SCALE



DUMPSTER PAD - NOT TO SCALE



GUARD POST - NOT TO SCALE



VEGETATIVE COVER SCHEDULE -

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH A MINIMUM OF 8 INCHES OF TOPSOIL. SEED AS INDICATED BELOW. CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

PERMANENT VEGETATIVE COVER:
PERMANENT SEEDING IS TO BE USED ON DISTURBED OR ERODIBLE SOILS THAT HAVE BEEN BROUGHT TO FINAL GRADE OR WHERE THE SUSPENSION OF WORK IS EXPECTED TO EXCEED ONE (1) YEAR.
SEEDING DATES: APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15

LAWN AREAS:
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY DESIGN ENGINEER.
KENTUCKY BLUEGRASS 45%
CREEPING RED FESCUE 45%
PERENNIAL RYEGRASS 10%
APPLY 1-3 LBS./1000 SQ. FT.

TEMPORARY VEGETATIVE COVER:
TEMPORARY SEEDING SHALL BE USED WHEN SOILS WILL BE EXPOSED FOR A PERIOD OF GREATER THAN ONE (1) MONTH BUT LESS THAN TWELVE (12) MONTHS.
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15
USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER -
ANNUAL RYEGRASS 100%
APPLY 1 LB./1000 S.F.

IF FINAL GRADING IS FINISHED TOO LATE IN THE SEASON FOR ESTABLISHMENT OF VEGETATIVE COVER, AREAS DISTURBED TO BE ROUGH GRADED, COVERED WITH HAY MULCH, THEN EROSION CONTROL FABRIC OR BLANKET TO BE PLACED ON TOP OF THE HAY. EROSION CONTROL FABRIC OR BLANKET TO BE PLACED PER MANUFACTURER'S SPECIFICATIONS.

SITE PLAN NOTES -

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ZONING REGULATIONS AND THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
- MATERIAL THICKNESSES SPECIFIED ARE COMPACTED THICKNESSES.
- PROPOSED PAVEMENT SHALL MAKE A SMOOTH TRANSITION WITH THE EXISTING PAVEMENT.
- ROUND TOPS AND TOES OF ALL PAVED AND PLANTED SLOPES.
- UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS, "THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817, AMENDED, AND WITH MANUFACTURER'S SPECIFICATIONS. PROPOSED WATER AND SEWER SHALL CONFORM TO M.D.C. SPECIFICATIONS AND DETAILS.
- WASTE CONTROL IS TO BE MAINTAINED ON THE SITE AT ALL TIMES. THIS INCLUDES ACCUMULATED SEDIMENT AND LITTER. SPECIFICALLY, ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY.
- THE CONTRACTOR/DEVELOPER SHALL NOTIFY THE TOWN ENGINEER AND/OR THE IWWC AGENT AT LEAST TWO (2) WORKING DAYS BEFORE THE FOLLOWING:
a) START OF CONSTRUCTION
b) COMPLETION OF CLEARING LIMIT DEMARCATION
c) INSTALLATION OF E&SC MEASURES
d) COMPLETION OF SITE CLEARING
e) COMPLETION OF ROUGH GRADING
f) COMPLETION OF FINAL GRADING
g) CLOSE OF CONSTRUCTION SEASON
h) COMPLETION OF FINAL LANDSCAPING
i) PRIOR TO THE REMOVAL OF CONSTRUCTION E&S CONTROL SYSTEM
- THE DEVELOPER SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITIES.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE TOPSOIL IS THE PROPERTY OF THE OWNER.
- NO RECLAIMED OR RECYCLED MATERIALS SHALL BE USED WITHOUT THE DESIGN ENGINEER'S WRITTEN AUTHORIZATION.
- THE INTENTION OF THIS PLAN IS NOT TO POND SURFACE WATER WITHIN THE PAVED AREAS.
- PROPOSED LIGHTS SHALL BE SHIELDED TO CONFINE ILLUMINATION TO THE SUBJECT SITE.
- REQUIRED LANDSCAPING SHOWN ON THE APPROVED SITE PLAN SHALL BE MAINTAINED IN A MANNER REASONABLY ASSURING ITS SURVIVAL. ANY REQUIRED PLANTING FOUND DEAD BY THE ZONING ENFORCEMENT OFFICER SHALL BE REPLACED IN-KIND DURING THE NEXT AVAILABLE PLANTING SEASON.
- AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHOULD BE SAW CUT, TACK COAT EDGE AND SEAL JOINT WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
- PROPOSED PARKING SPACES SHALL BE DELINEATED WITH 4" WIDE STRIPES OF WHITE TRAFFIC PAINT.
- PROPOSED BUILDINGS ARE TO BE SPRINKLERED. THE DEVELOPMENT SHALL COMPLY WITH THE MDC'S REQUIREMENTS FOR SYSTEM PROTECTION IN ADDITION TO THE REQUIREMENTS OF THE CONNECTICUT STATE FIRE SAFETY CODE AND FIRE PROTECTION CODE.
- ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND.
- THERE ARE NO ZONING VIOLATIONS WITH RESPECT TO LOCATION OF THE PROPOSED BUILDINGS, IF ERRECTED AS SHOWN.
- ANY PROPOSED SIGNAGE WILL REQUIRE FURTHER REVIEW BY THE TOWN OF WINDSOR PLANNING DEPARTMENT.
- LAWN AND LANDSCAPED AREAS ARE TO BE IRRIGATED.

SHEET C8

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

Alford ASSOCIATES, INC. CIVIL ENGINEERS WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288

9-6-2022 INCORPORATED TOWN STAFF COMMENTS DATED AUGUST 24, 2022

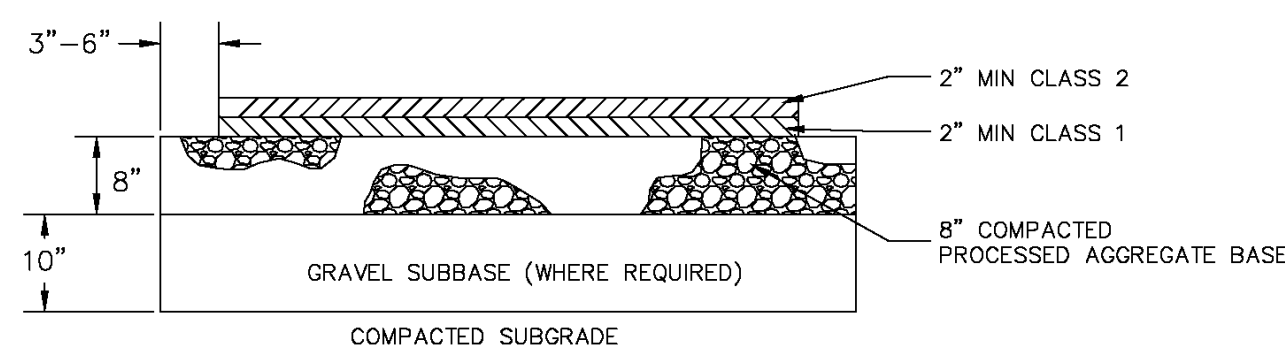
DATE	REVISION

SCALE: 1 IN. = - FT. DATE: MARCH 14, 2023

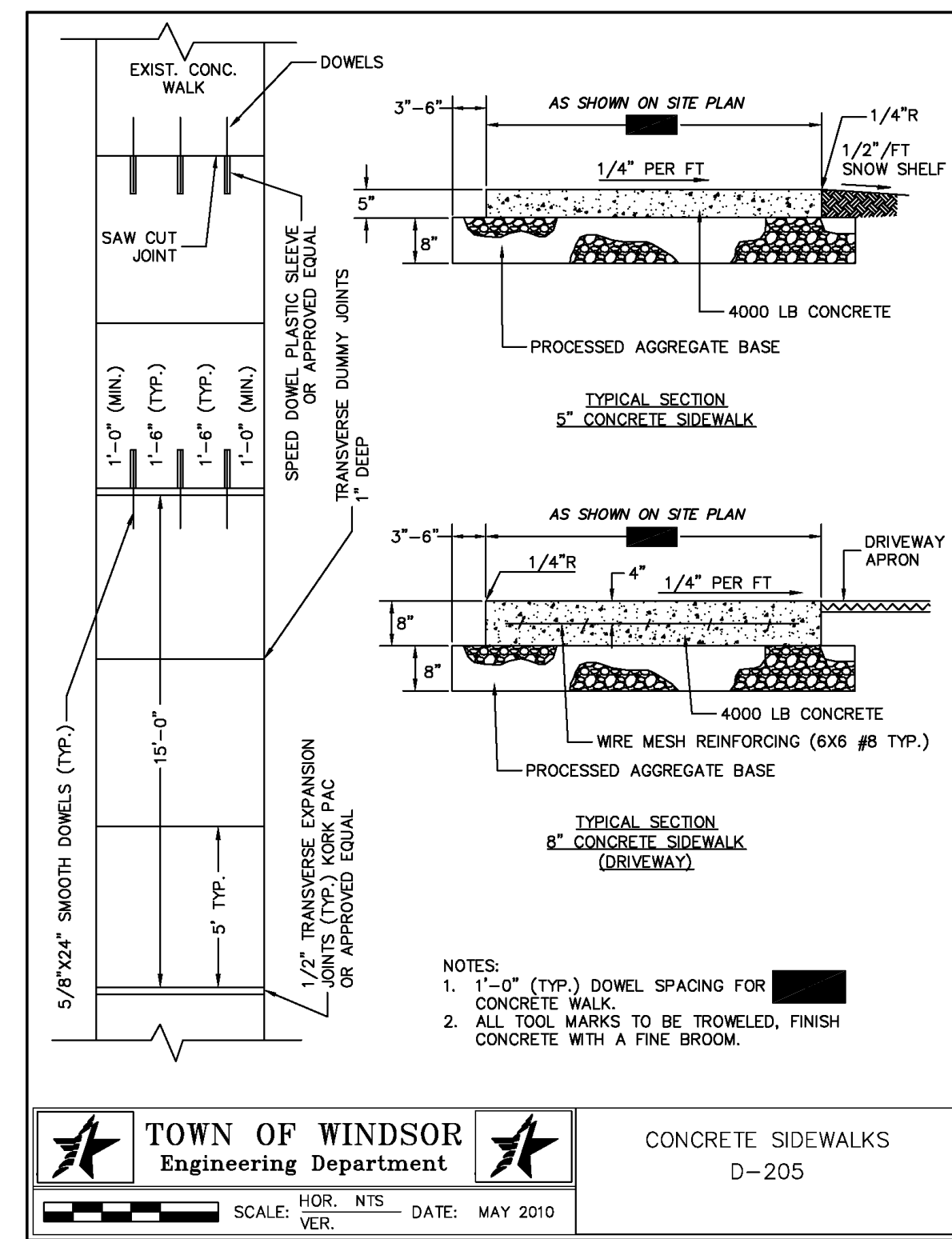
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

144 BROAD STREET WINDSOR, CONNECTICUT

DETAILED SITE PLAN
FOUNDER'S SQUARE
PREPARED FOR
GRAVA PROPERTIES
NOTES AND DETAILS



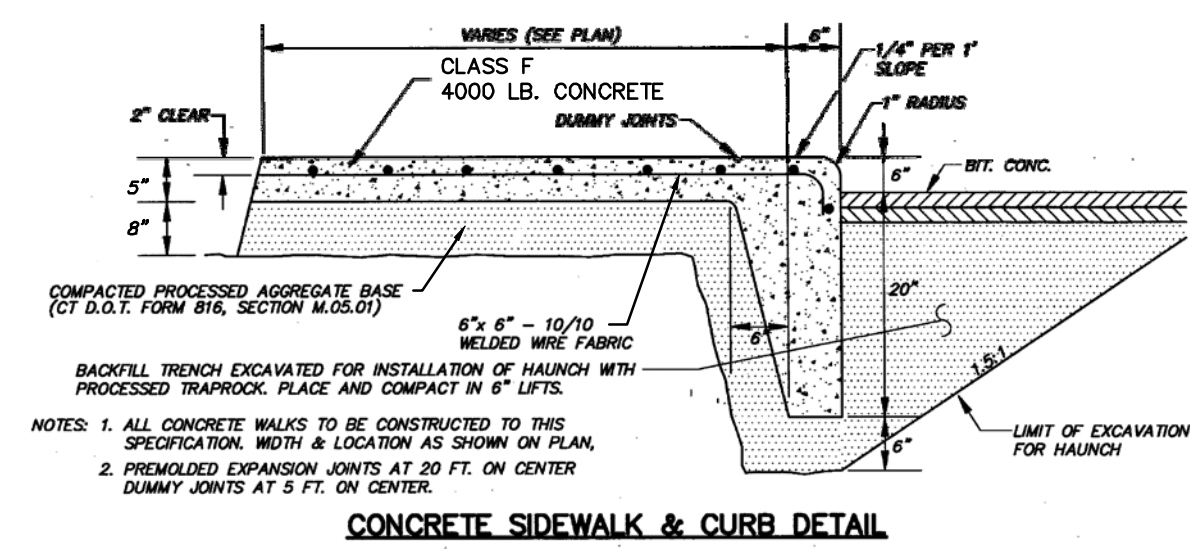
- NOTES:**
- CONSTRUCTION SHALL BE EXCAVATED OR FILLED 12 INCHES BELOW FINISHED GRADE AND EXTEND 6 INCHES MINIMUM BEYOND THE OUTSIDE EDGES OF THE PAVED AREAS OR 3 INCHES BEYOND CURBING (IF CURBING IS INSTALLED).
 - SUBBASE SHALL BE PROPERLY GRADED TO FORM A UNIFORM BASE.
 - BASE SHALL BE A MINIMUM 8 INCHES OF PROCESSED AGGREGATE BASE AND SHALL BE COMPACTED IN 4-INCH LIFTS UTILIZING A ROLLER WEIGHING A MINIMUM OF 10,000 POUNDS.
 - BITUMINOUS CONCRETE SHALL BE PLACED AND COMPACTED IN 2-INCH LIFTS TO THE REQUIRED DEPTH (4 INCHES MINIMUM) USING A ROLLER WEIGHING A MINIMUM 10,000 POUNDS WITH NO COLD JOINTS.
 - AT ANY POINT WHERE A NEW PAVEMENT WILL MATCH EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT VERTICALLY TO A SMOOTH EDGE AND A TACK COAT APPLIED. AFTER PLACEMENT OF THE PAVEMENT, THE JOINT SHALL BE SEALED WITH A HOT ASPHALT MATERIAL, AC-20 OR APPROVED EQUIVALENT.
 - TACK COAT SHOULD BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE FOR LONGER THAN 72 HOURS.



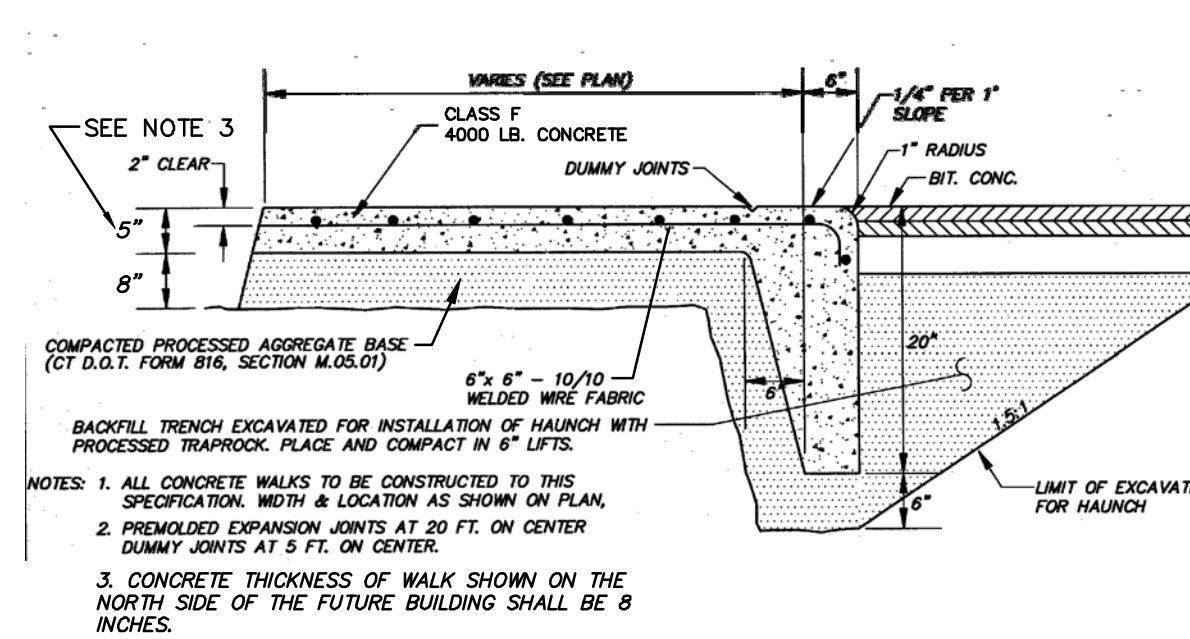
DETAILS OF CONCRETE WALK WITH INTEGRAL CONCRETE CURB

NOT TO SCALE

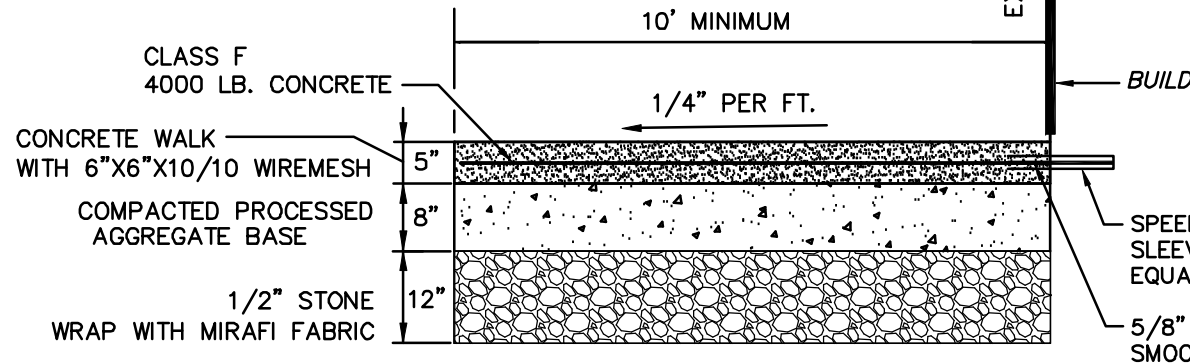
CONCRETE WALK WITH 6" HIGH CURB -



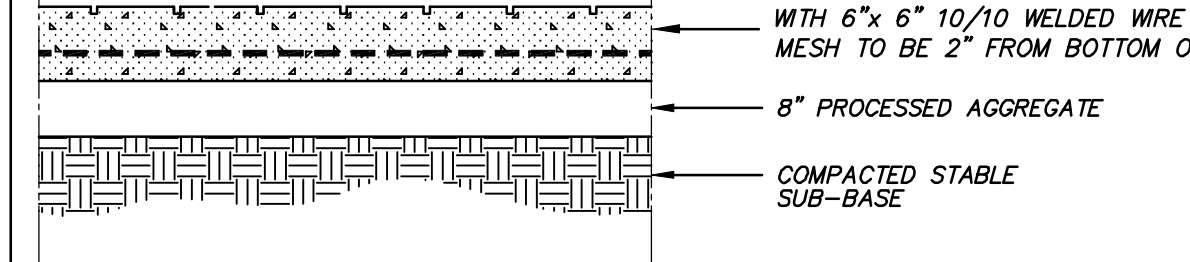
CONCRETE WALK WITH FLUSH CURB -



CONCRETE WALK ADJACENT TO BUILDING
NOT TO SCALE

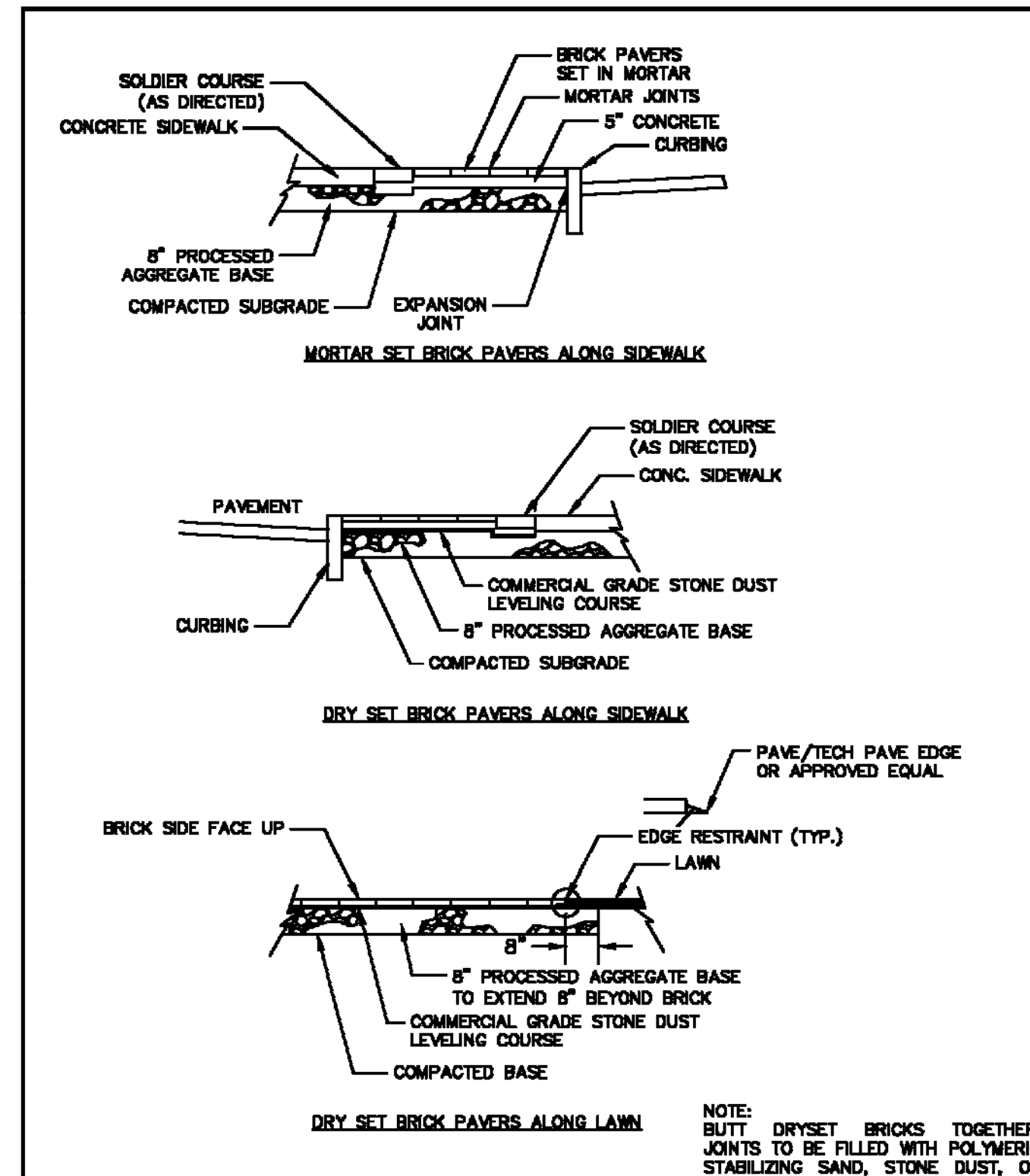


STAMPED CONCRETE PAD
NOT TO SCALE



STAMPED CONCRETE PAD
NOT TO SCALE

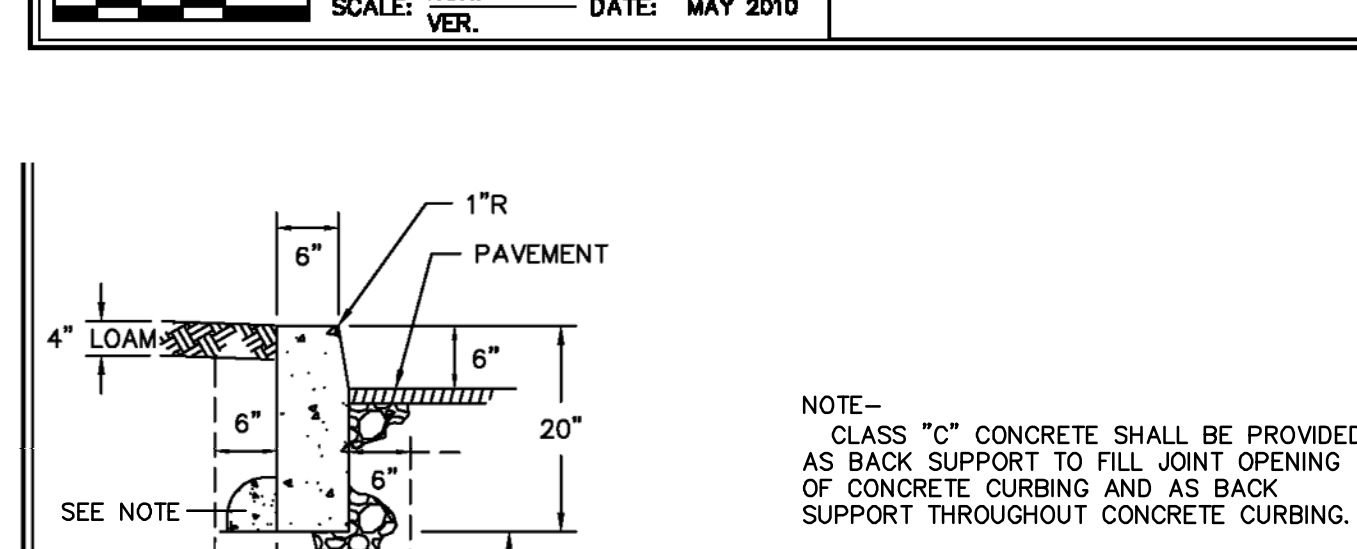
- NOTES:**
- PROVIDE CONTROL JOINTS SPACED EVERY 10 FEET ON CENTER.
 - PROVIDE EXPANSION JOINTS AT ALL RIGID OBJECTS.



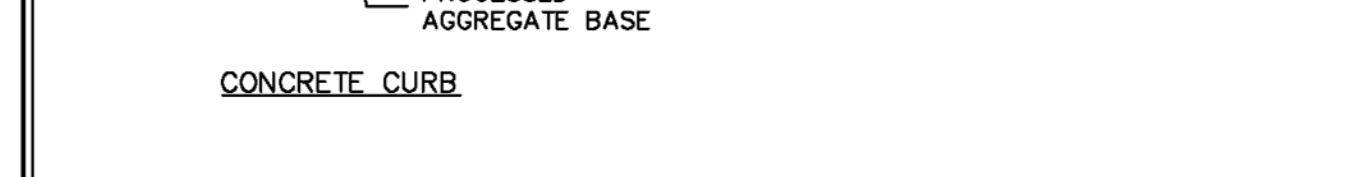
BRICK PAVERS

NOT TO SCALE

BRICK PAVERS



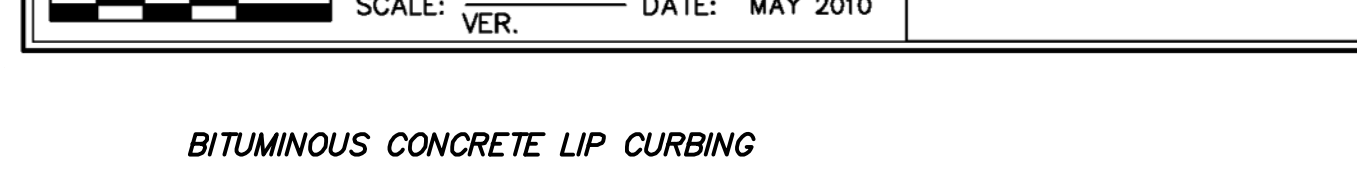
CONCRETE CURB



CURB TYPES

NOT TO SCALE

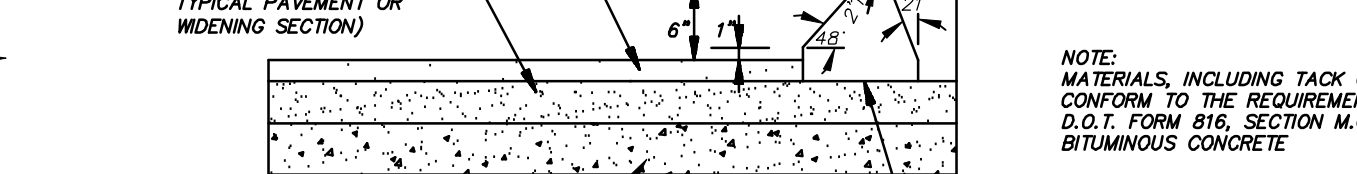
CURB TYPES



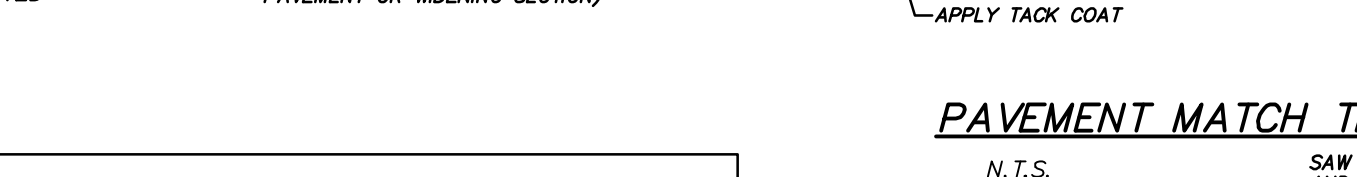
BITUMINOUS CONCRETE LIP CURBING



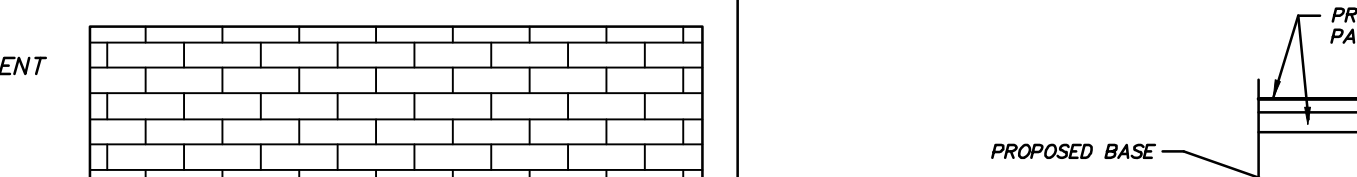
PAVEMENT MATCH TREATMENT



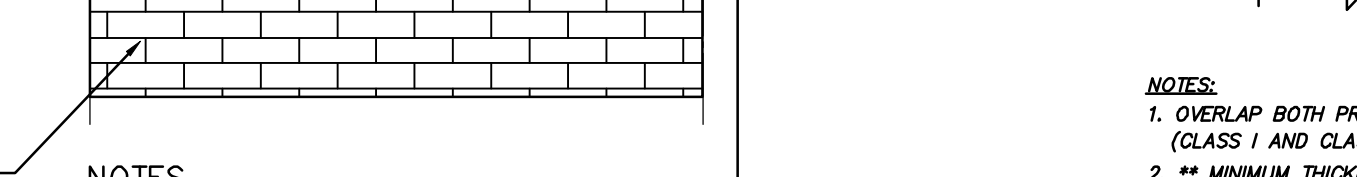
PAVEMENT MATCH TREATMENT



PAVEMENT MATCH TREATMENT



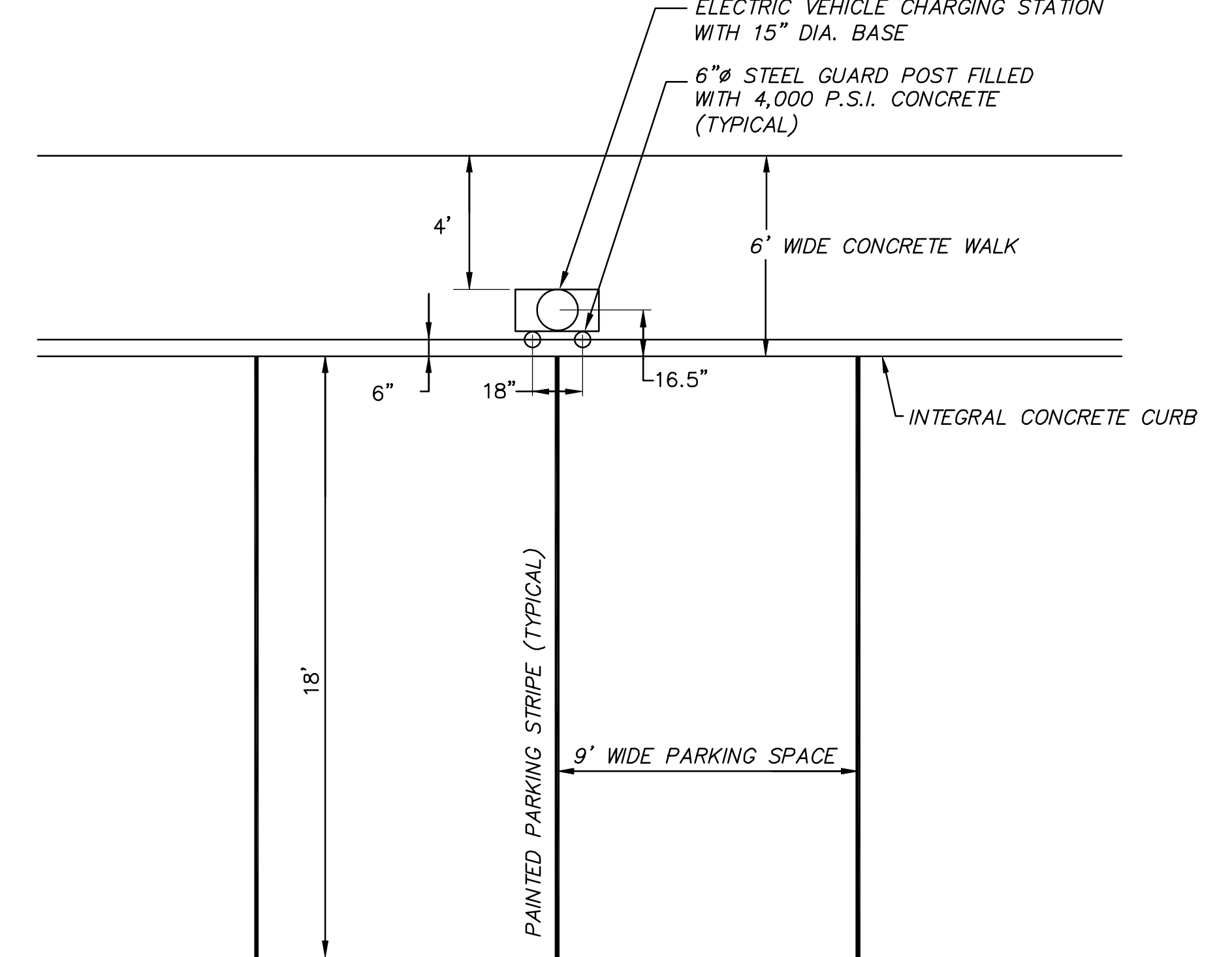
PAVEMENT MATCH TREATMENT



PAVEMENT MATCH TREATMENT

PAVEMENT MATCH TREATMENT

LOCATION SKETCH FOR ELECTRIC VEHICLE CHARGING STATION
SCALE: 1 INCH = 8 FEET



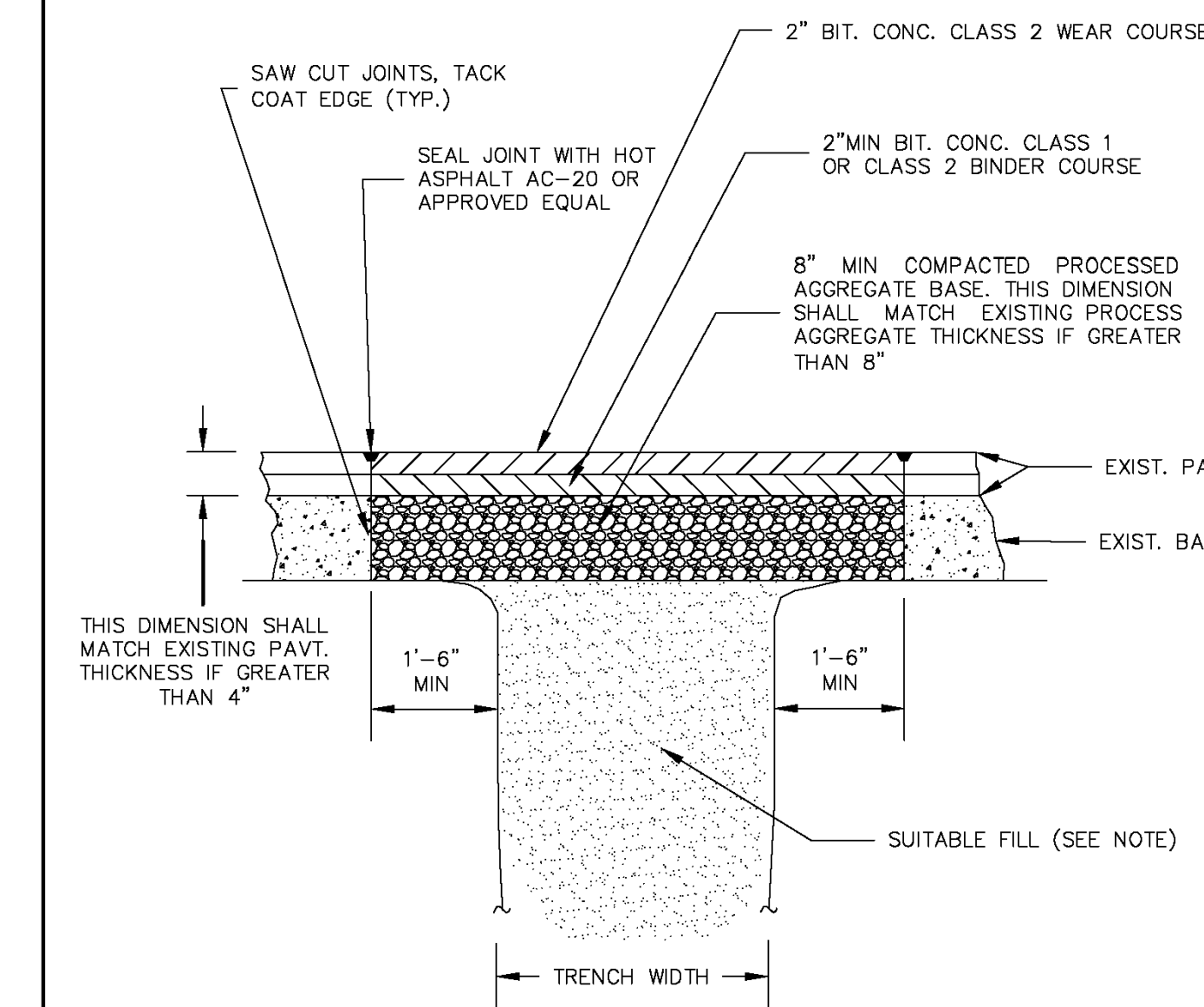
TOWN OF WINDSOR
Engineering Department

BITUMINOUS CONCRETE
COMMERCIAL PARKING AREAS
AND DRIVES D-210

SCALE: HOR. NTS. DATE: NOV 2010
VER.

GENERAL NOTES FOR PAVEMENT AREAS -

- AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHALL BE SAW CUT. TACK COAT EDGES AND SEAL JOINTS WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
- TACK COAT SHOULD BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE LONGER THAN 72 HOURS.



BITUMINOUS CONCRETE PAVEMENT REPAIRS

- NOTES:**
- SUITABLE FILL AND PROCESSED AGGREGATE SHALL BE COMPACTED 95% PER AASHTO T-180 METHOD 'D'.
 - IF GREATER THAN 5 LINEAR FEET OF EXISTING PAVEMENT MARKINGS HAVE BEEN REMOVED THEN THE PAVEMENT MARKINGS SHALL BE REPLACED WITH EITHER HOT-APPLIED OR EPOXY RESIN PAVEMENT MARKINGS TO MATCH EXISTING CONDITIONS.
 - SUPERPAVE MAY BE USED IN PLACE OF CLASS 1 AND CLASS 2 BITUMINOUS CONCRETE WITH THE APPROVAL OF THE TOWN ENGINEER.

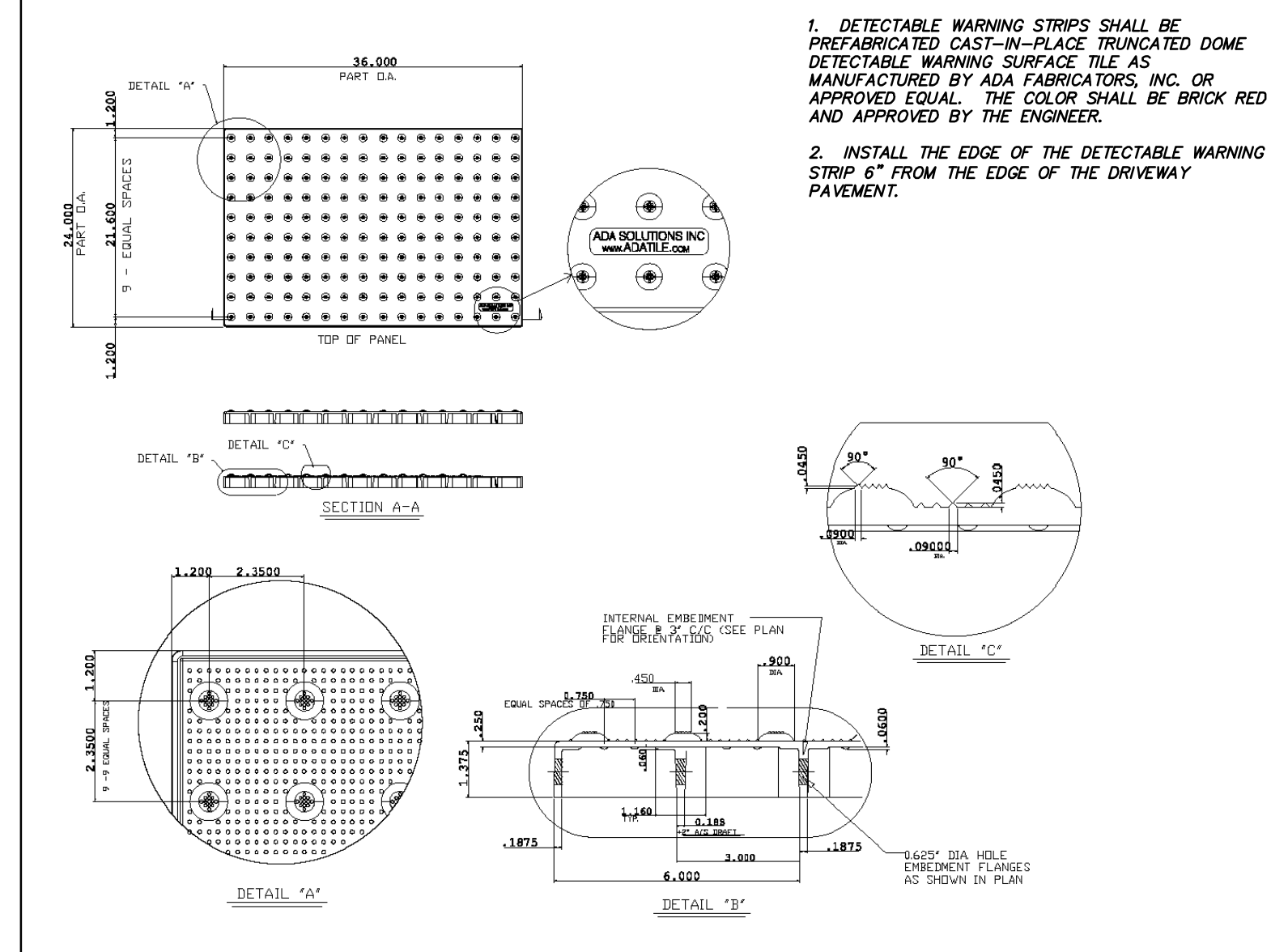
TOWN OF WINDSOR
Engineering Department

BITUMINOUS CONCRETE
PAVEMENT REPAIRS
D-203

SCALE: HOR. NTS. DATE: JUNE 2016
VER.

DETECTABLE WARNING STRIP

NOT TO SCALE



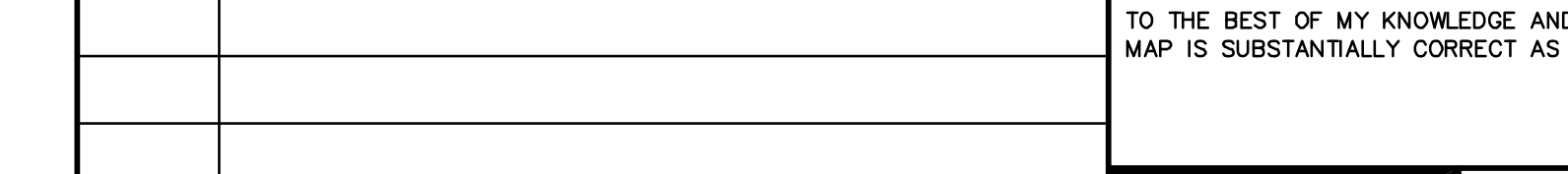
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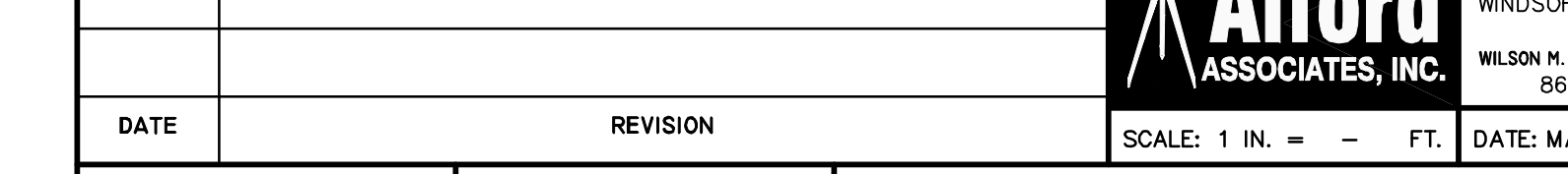
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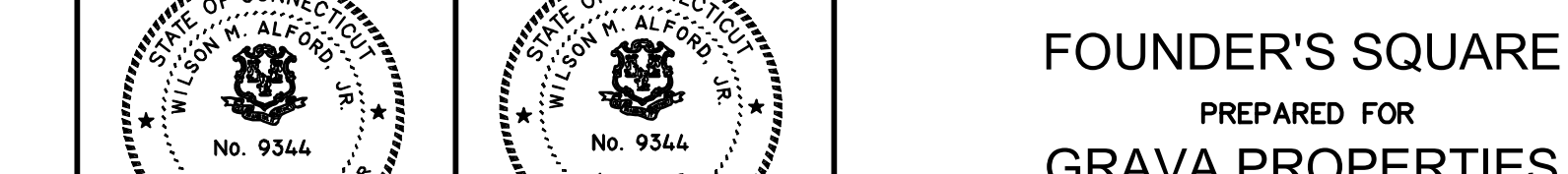
DETECTABLE WARNING STRIP



DETECTABLE WARNING STRIP



DETECTABLE WARNING STRIP



DETECTABLE WARNING STRIP

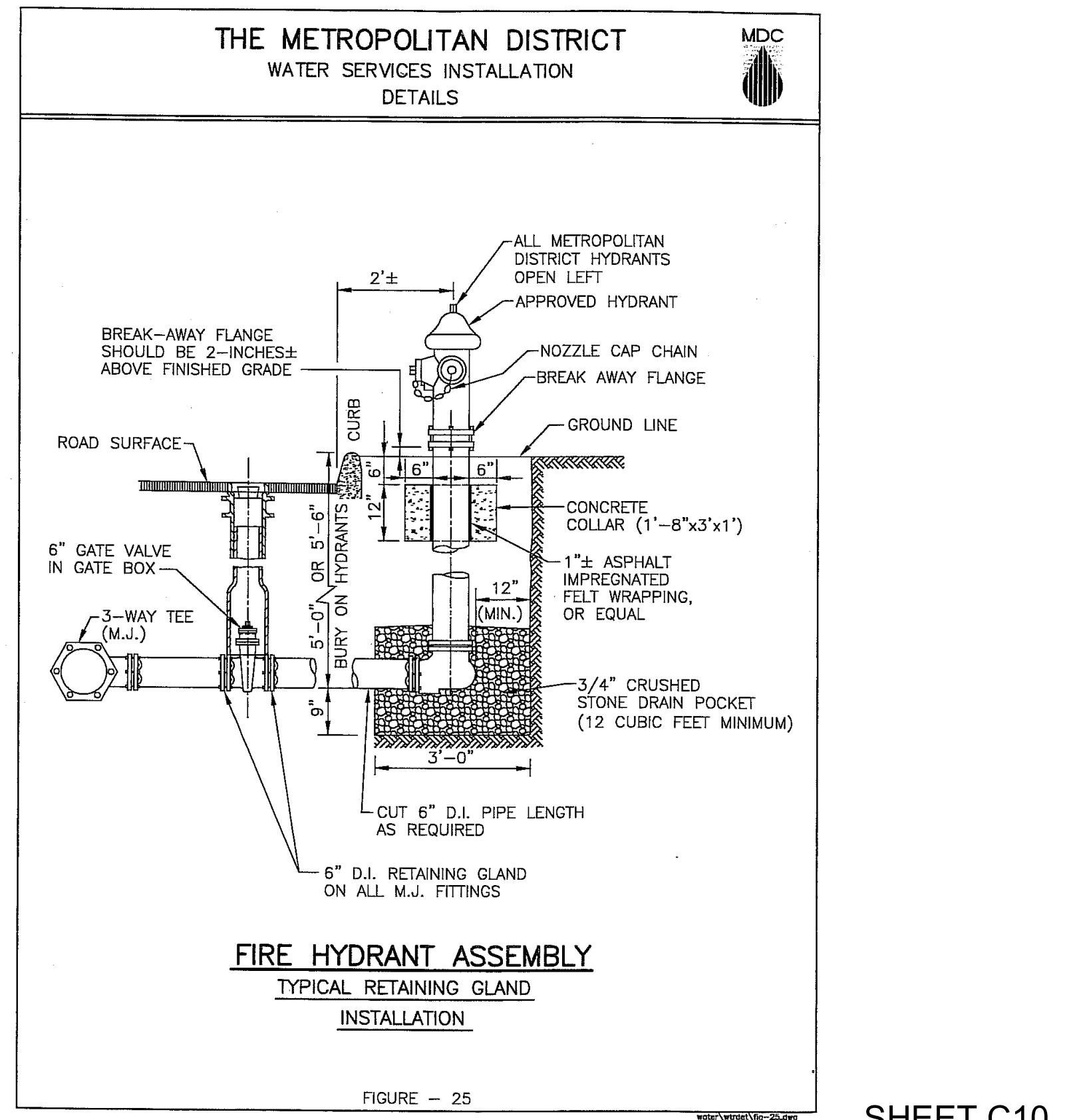
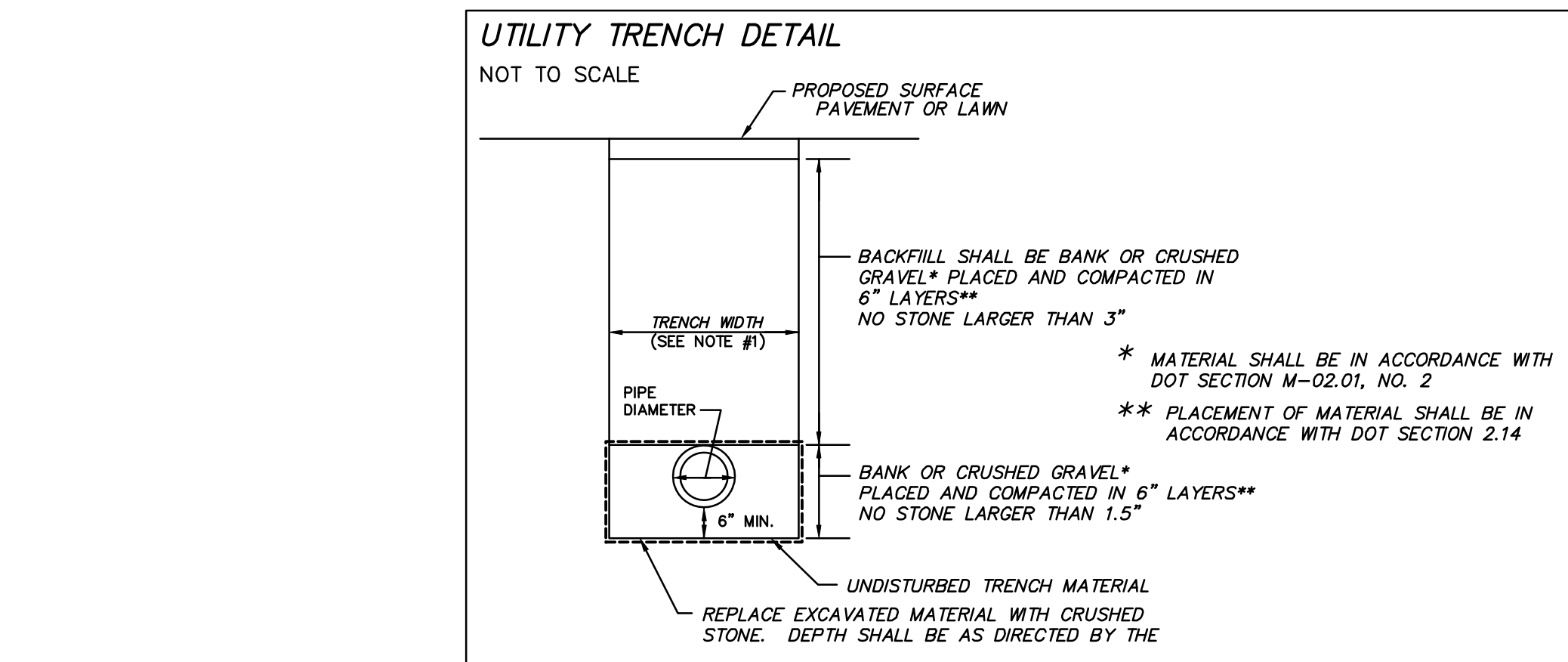
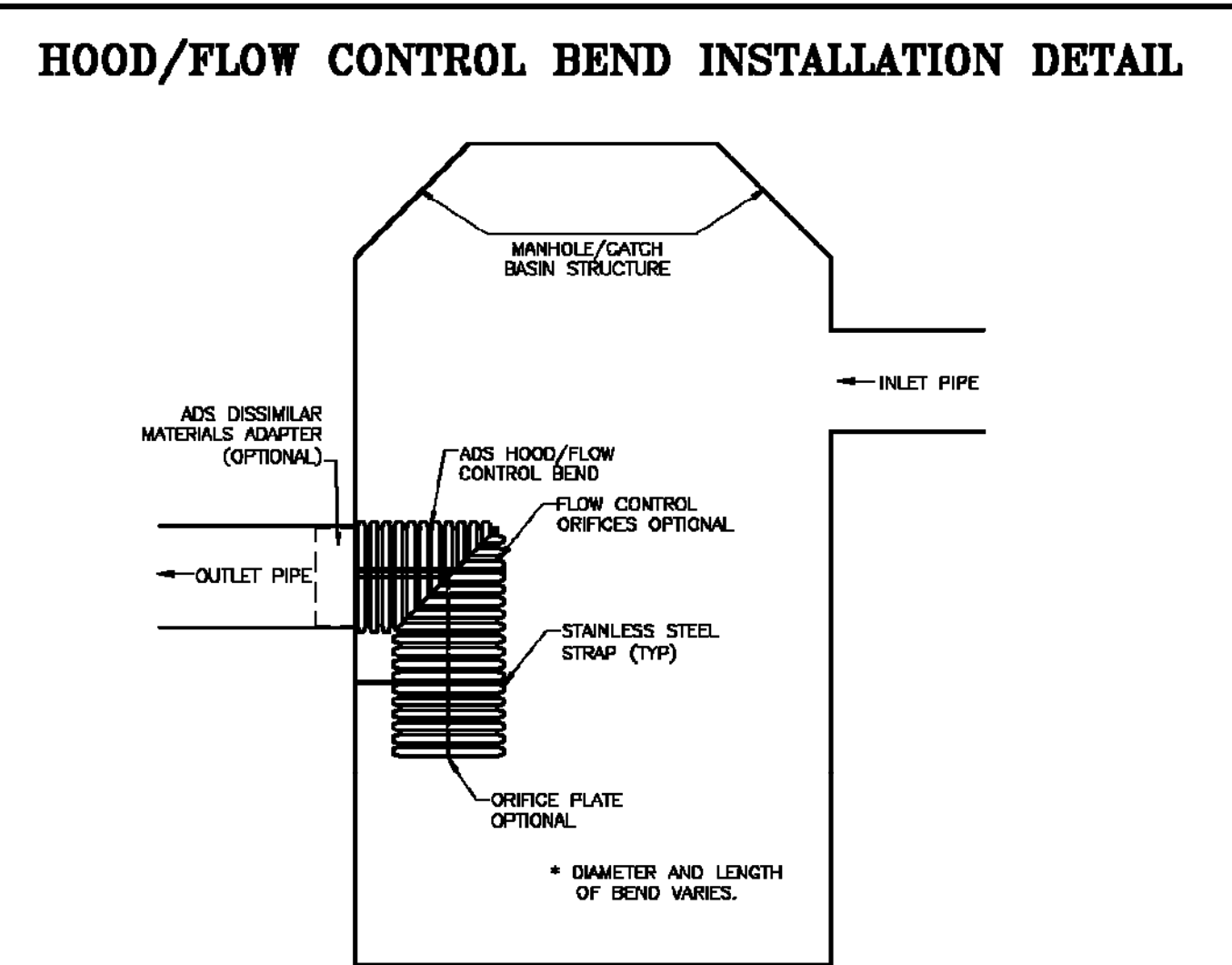
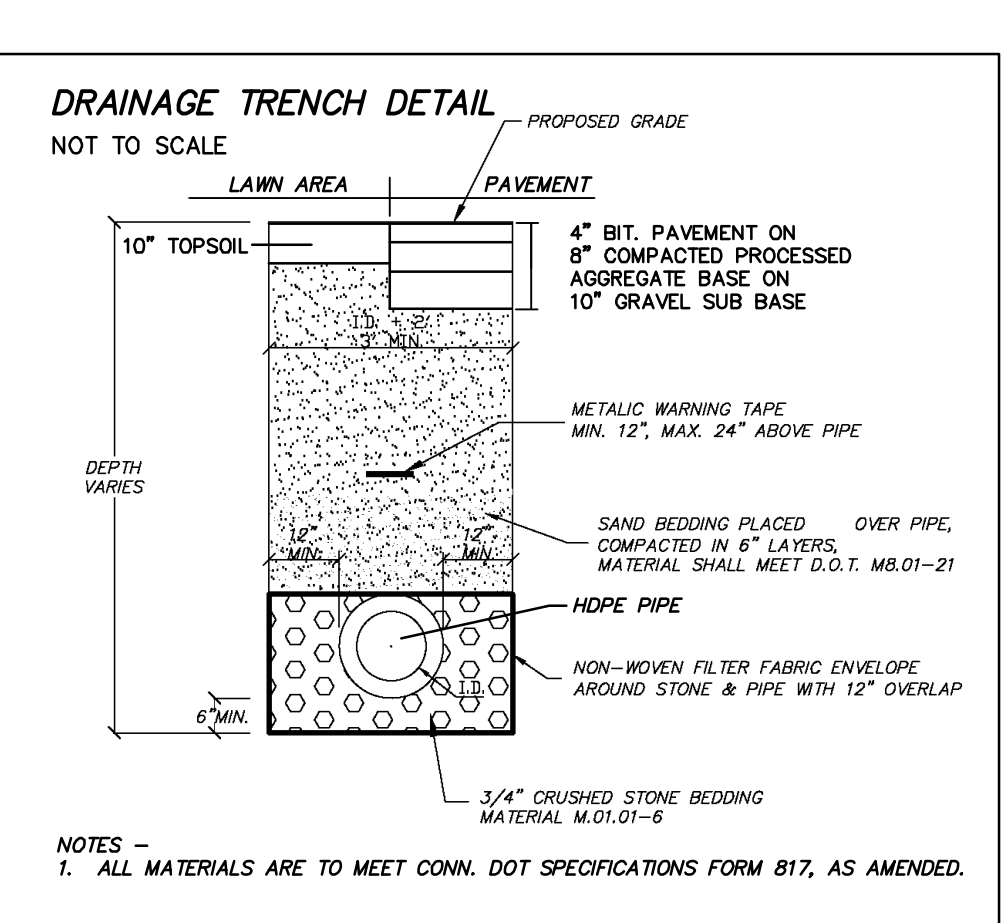
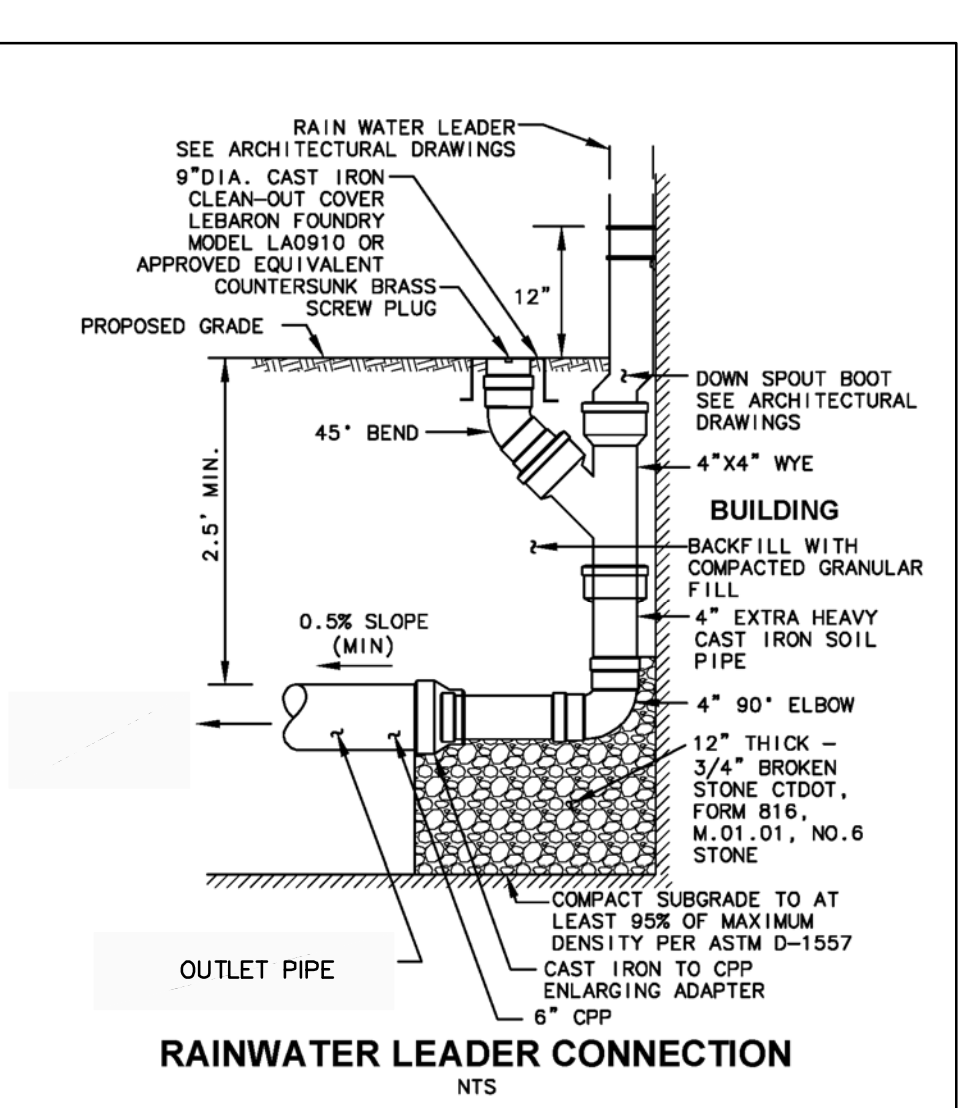
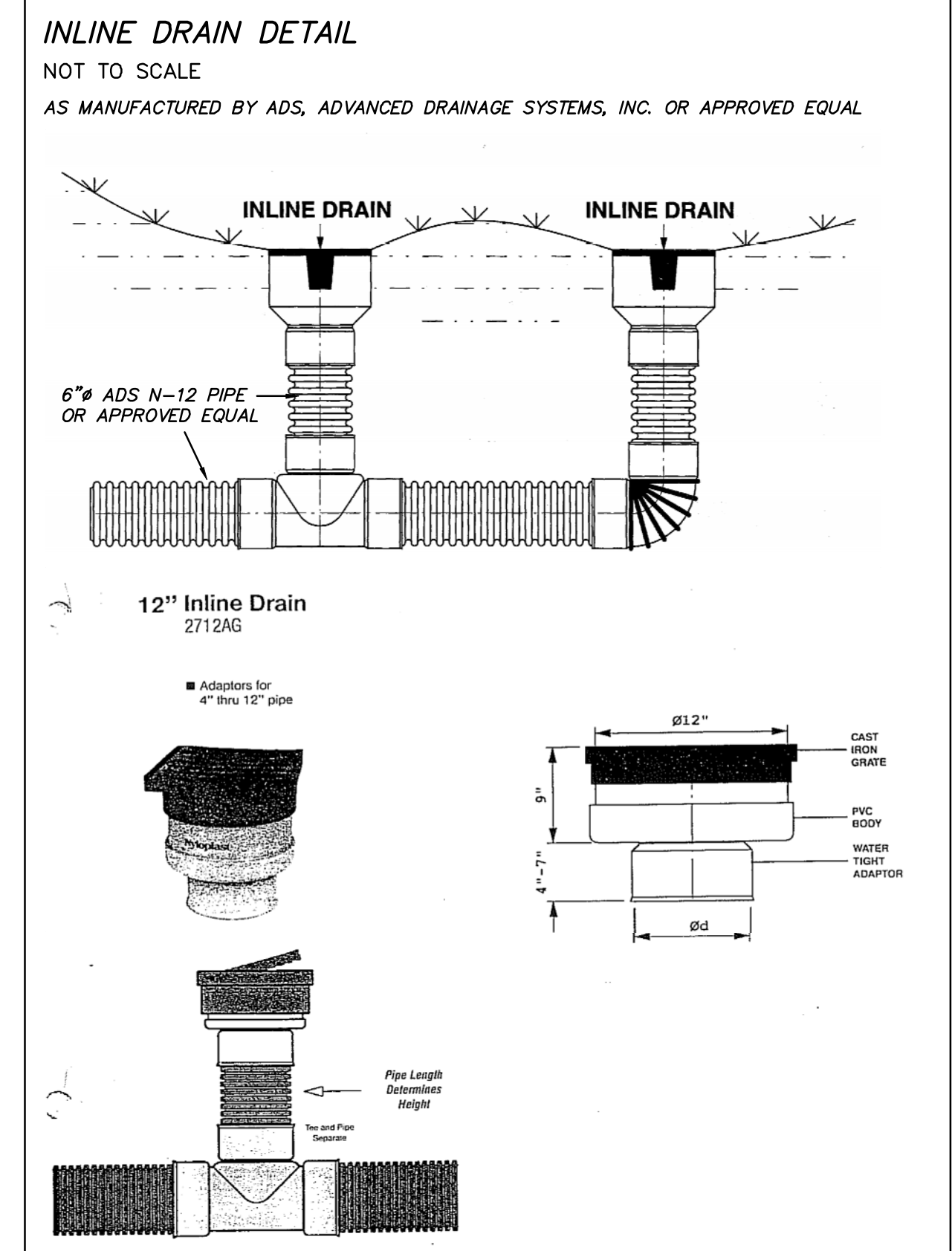
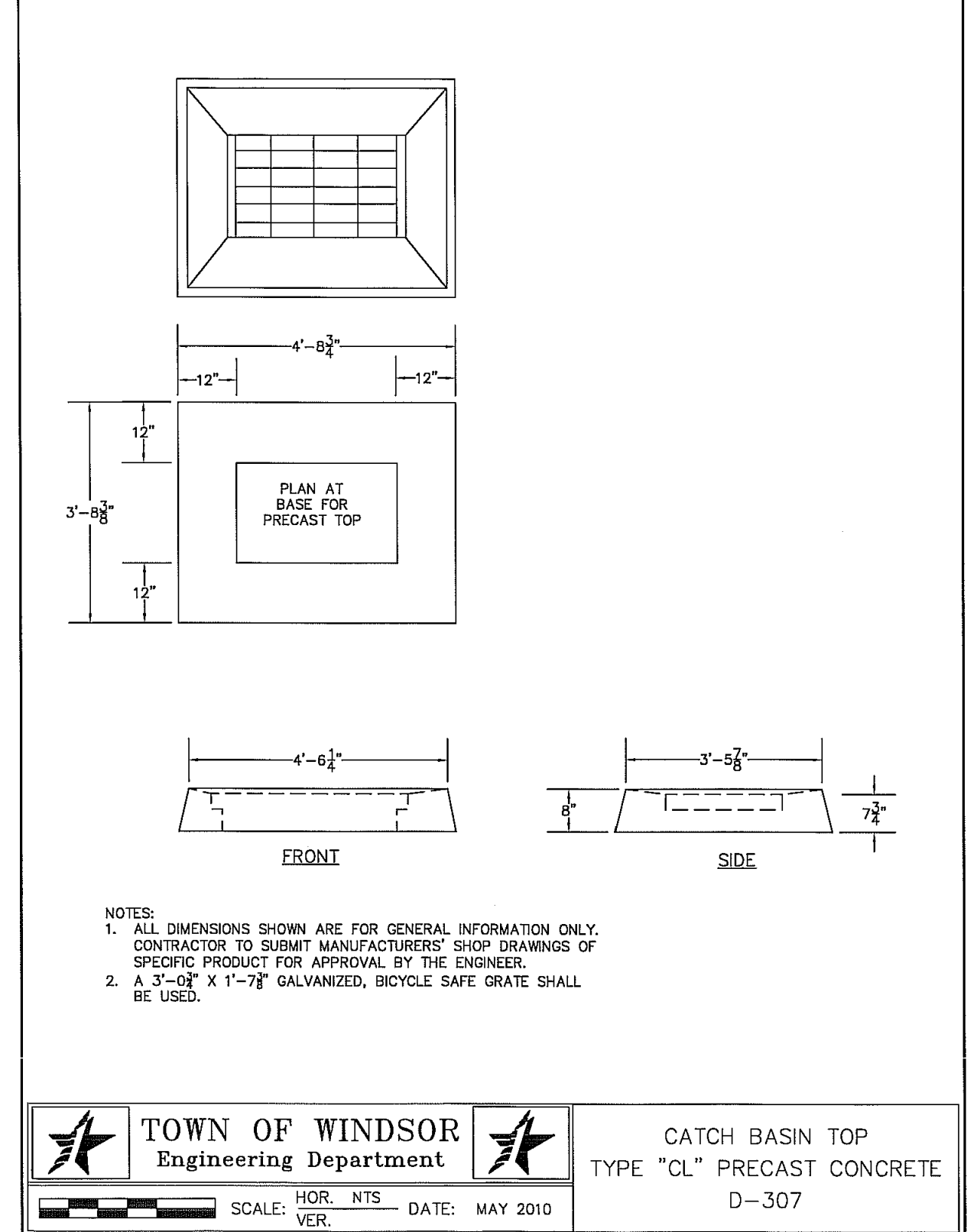
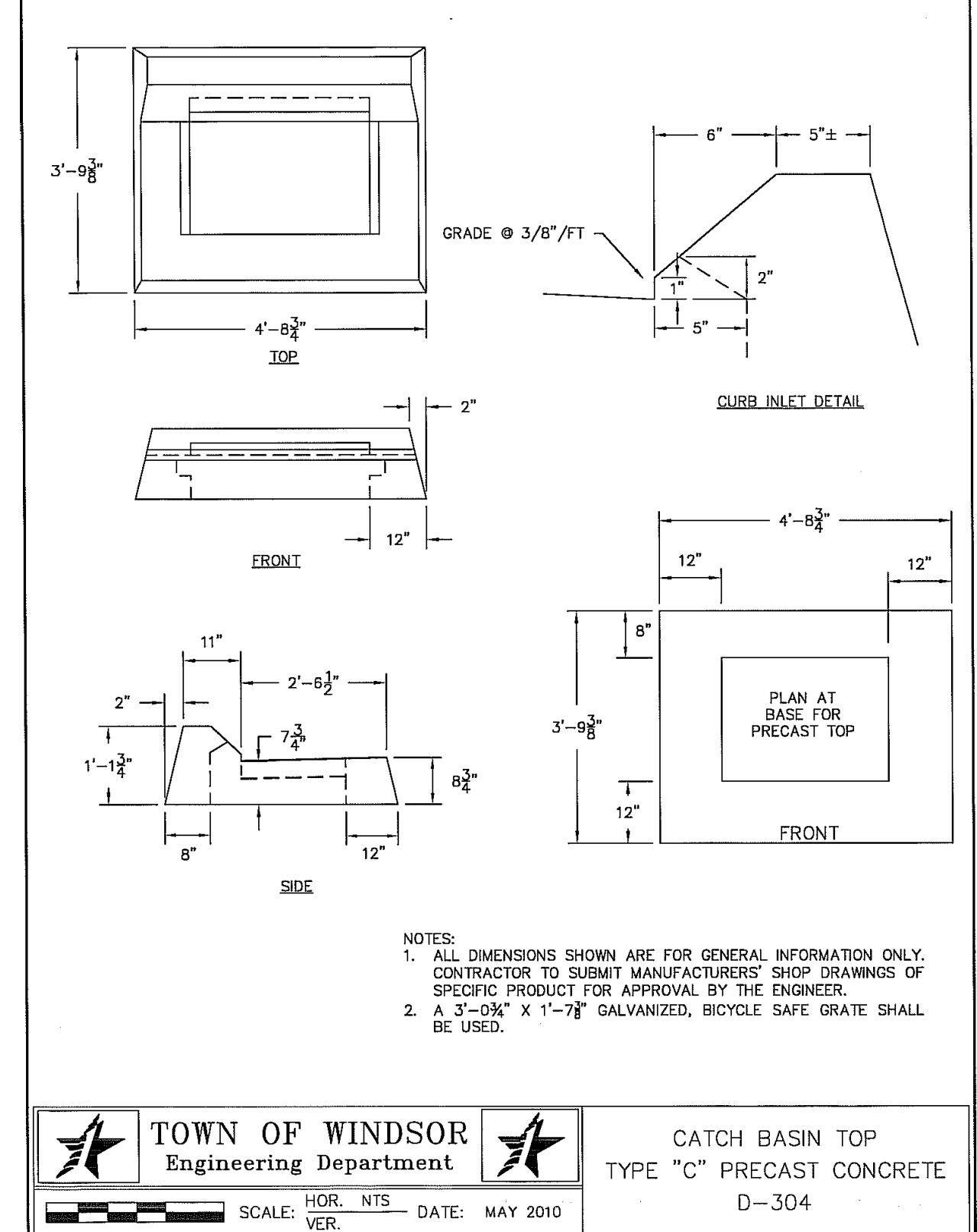
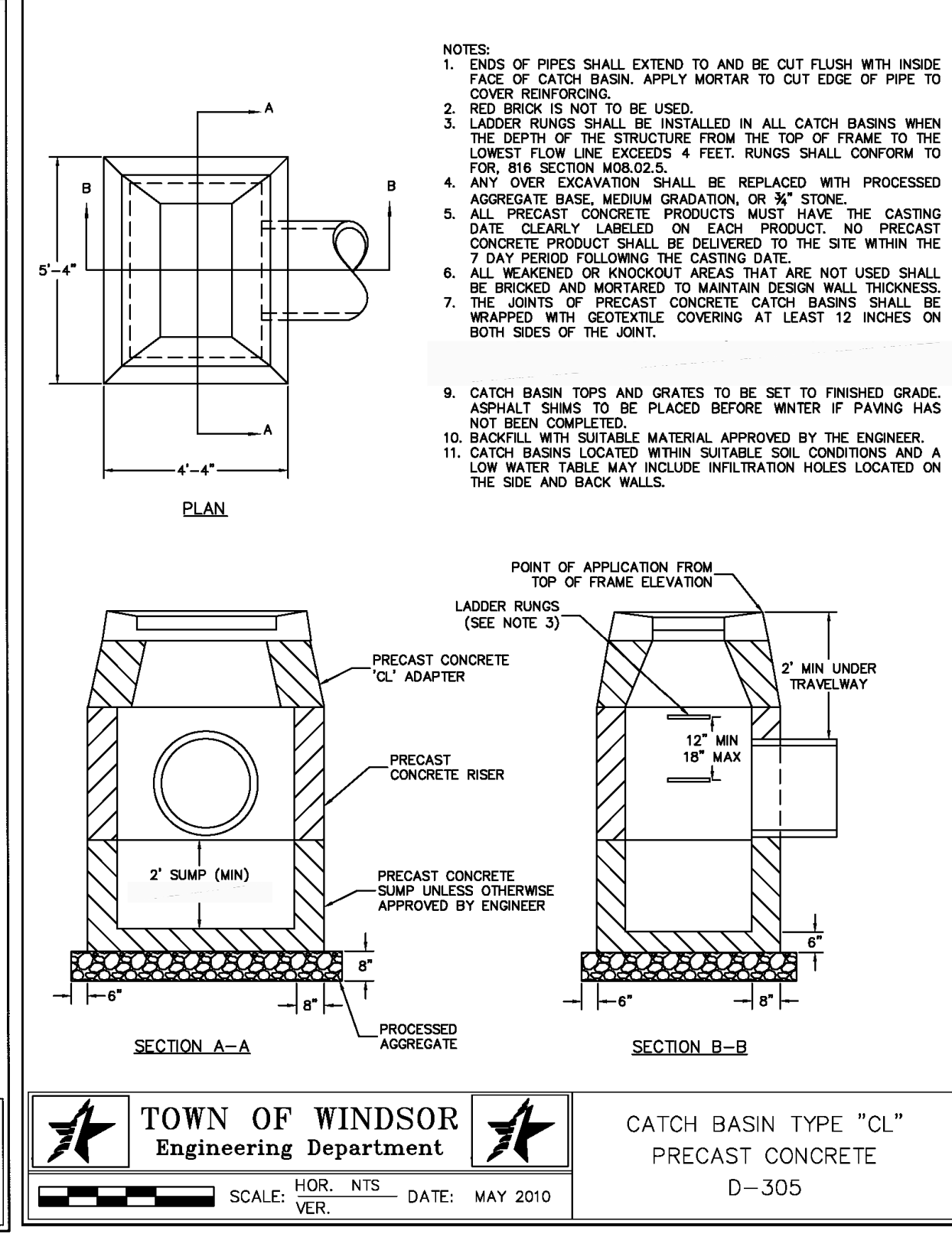
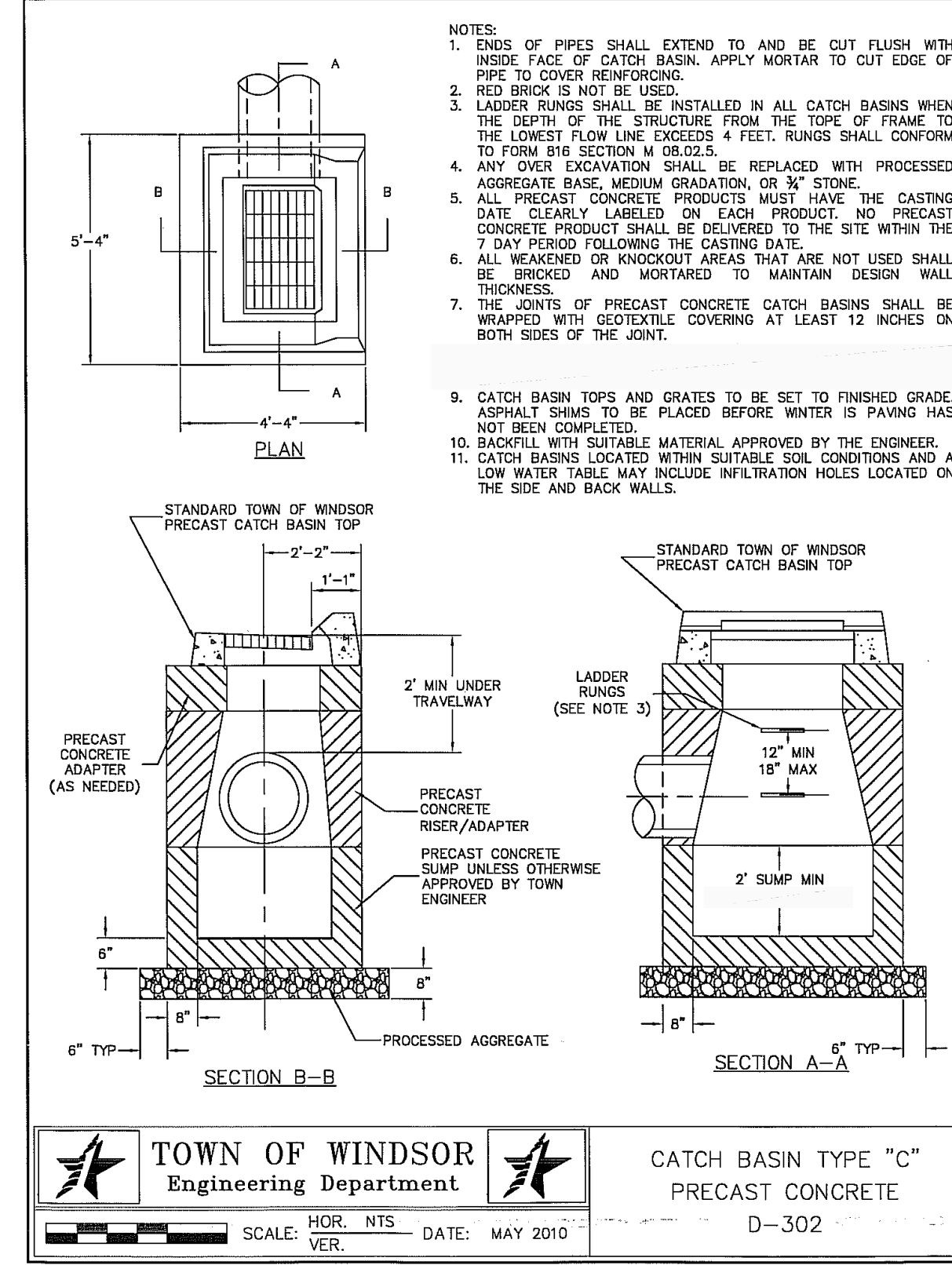
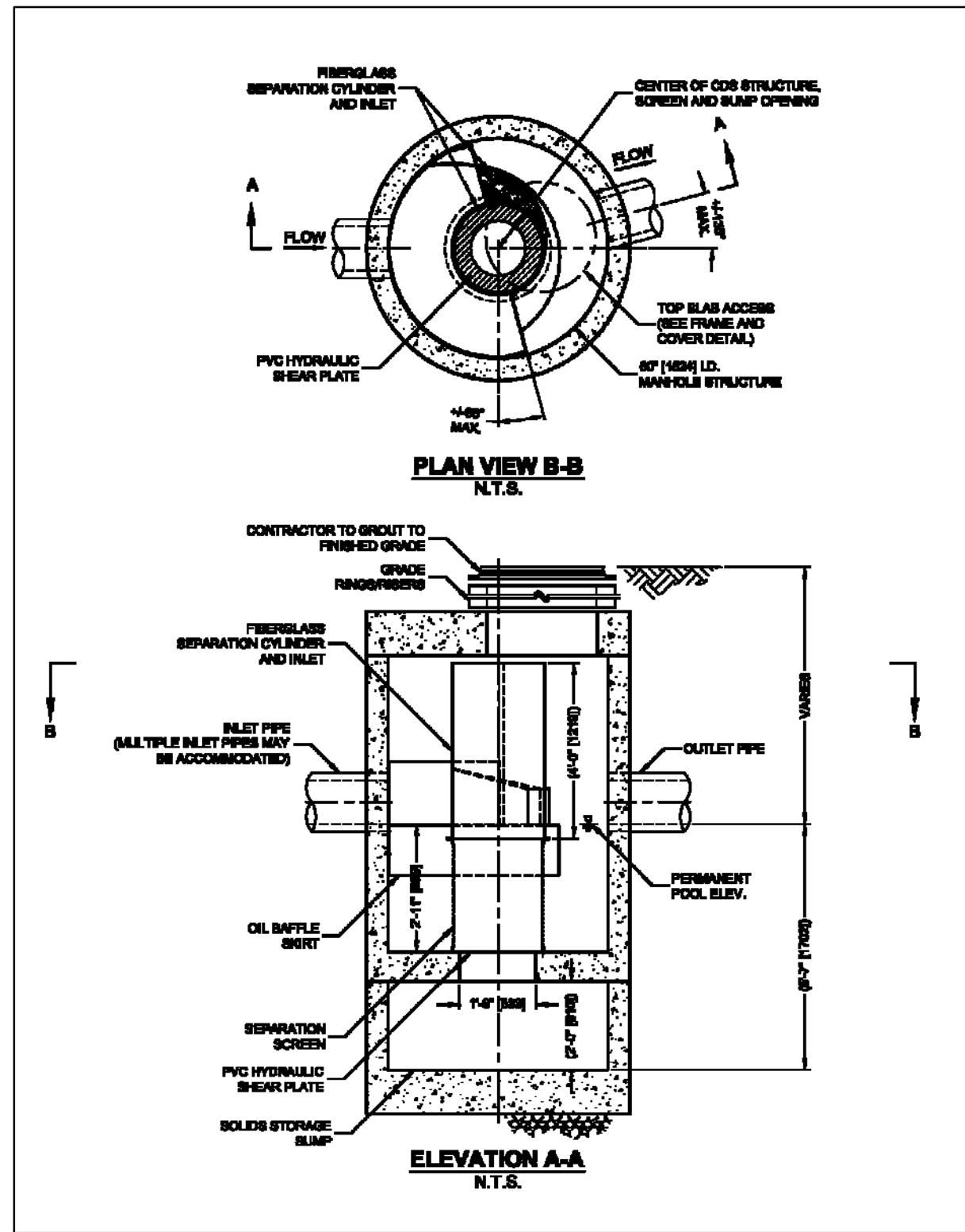
DETECTABLE WARNING STRIP

SHEET C9

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.	
L.S. No. 9344	
Alford ASSOCIATES, INC.	
CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288	
DATE	REVISION
SCALE: 1 IN. = - FT. DATE: MARCH 14, 2023	
DETAILED SITE PLAN FOUNDER'S SQUARE PREPARED FOR GRAVA PROPERTIES NOTES AND DETAILS	
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL	
144 BROAD STREET WINDSOR, CONNECTICUT	

HYDRODYNAMIC SEPARATOR DETAIL
NOT TO SCALE

TO BE MODEL CDS1515-3 AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS OR APPROVED EQUAL



ADS

REV	DATE	DESCRIPTION
01	08.15.01	ISSUE FOR PERMIT
02	08.15.01	ISSUE FOR PERMIT

NOTES: ALL DIMENSIONS ARE NOMINAL.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

Alford ASSOCIATES, INC. CIVIL ENGINEERS WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S. 860-688-7288

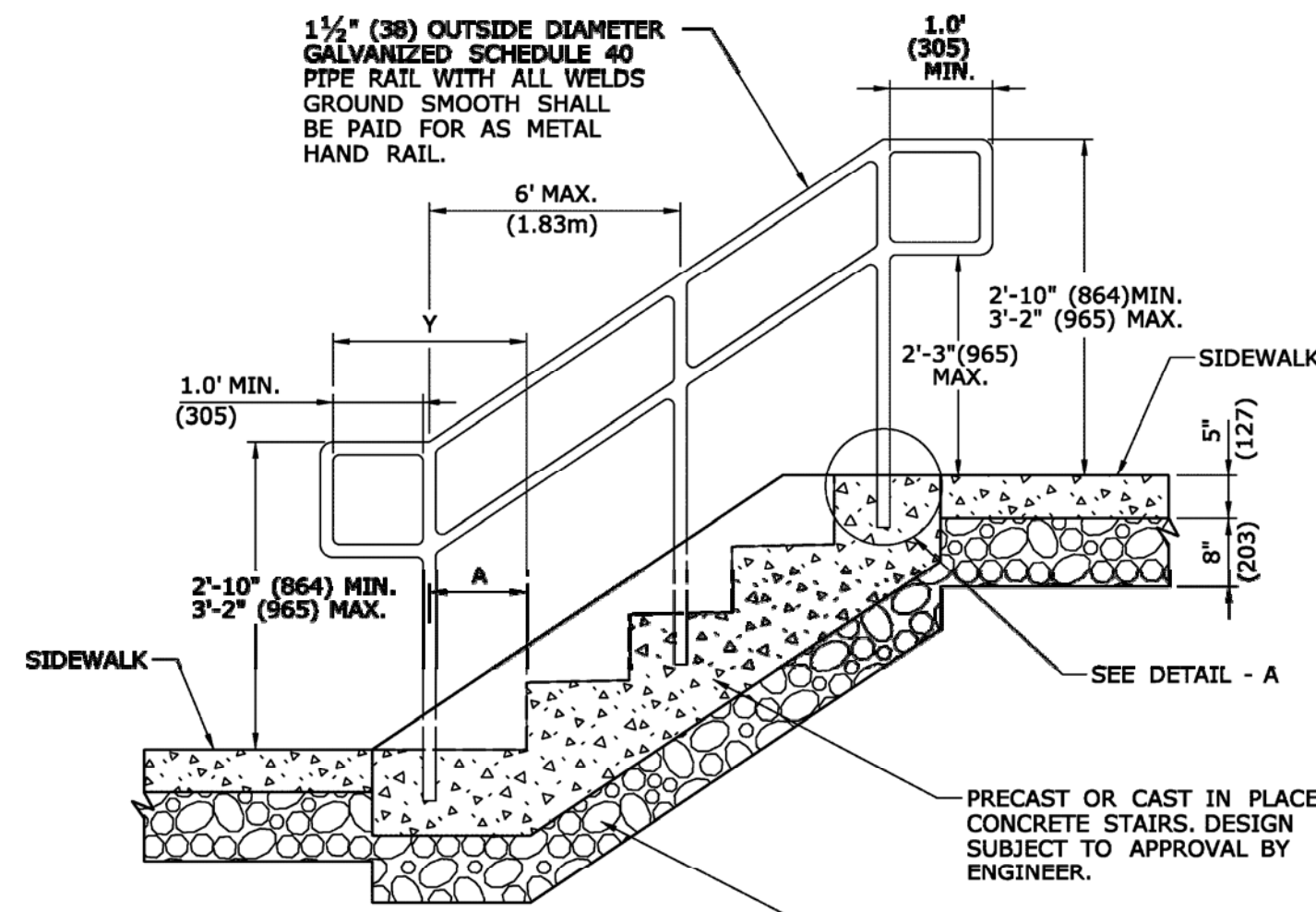
DATE: _____ REVISION: _____

SCALE: 1 IN. = - FT. DATE: MARCH 14, 2023

DETAILED SITE PLAN
FOUNDER'S SQUARE
PREPARED FOR
GRAVA PROPERTIES
NOTES AND DETAILS

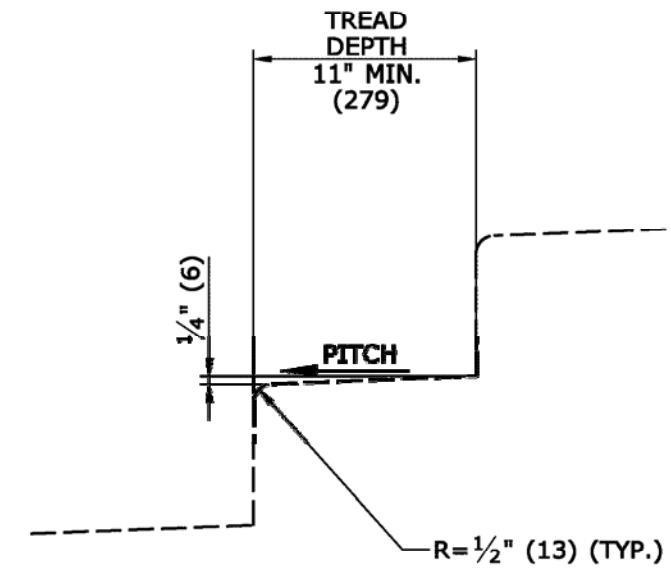
144 BROAD STREET WINDSOR, CONNECTICUT

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



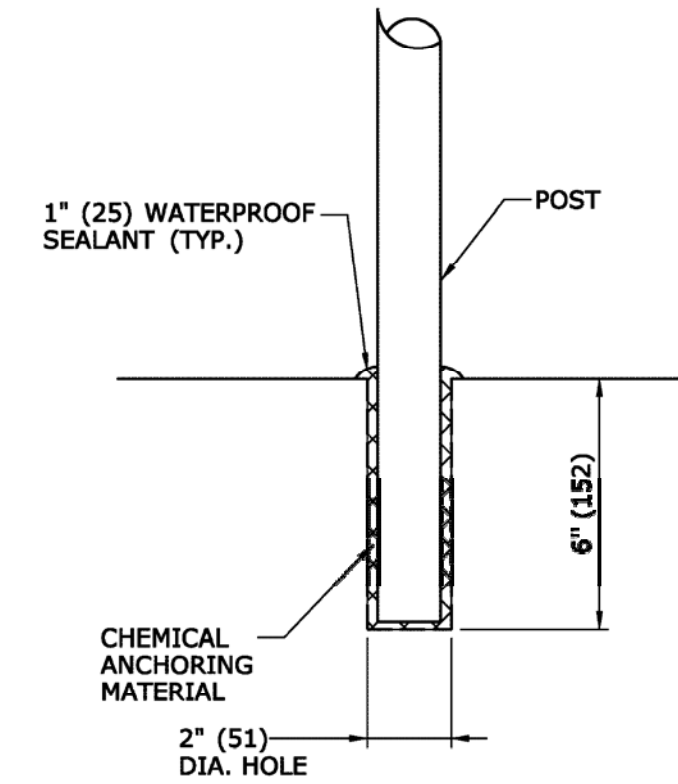
HAND RAIL DETAIL

A = WIDTH OF ONE TREAD REQUIRED AT EACH BOTTOM RISER.
Y = THE MINIMUM HANDRAIL EXTENSION OF 1'-0" (305) + A.



TYPICAL STEP DETAIL

ALL TREADS SHALL BE PITCHED 1/4" (6) (SEE NOTE 5)



DETAIL A

POST HOLE AT LANDINGS
(TYPICAL FOR ALL POSTS)

GENERAL NOTES:

1. A HAND RAIL IS REQUIRED ON BOTH SIDES OF STEPS WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE HIGHEST WALKING SURFACE AND THE LOWEST WALKING SURFACE IS GREATER THAN 30" (762).
2. POSTS SHALL BE NO MORE THAN 6' (1.83m) APART.
3. THE RAILING BASE CONNECTIONS SHALL BE DESIGNED TO PROVIDE STRENGTH FOR A 251.8 POUND (114.2kg) FORCE APPLIED IN ANY LOCATION OR DIRECTION ON THE RAIL.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STEEL POSTS AND HANDRAIL ELEMENTS INCLUDING A LAYOUT FOR REVIEW AND APPROVAL.
5. ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE A MINIMUM OF 4" (102) HIGH TO A MAXIMUM OF 7" (178) HIGH. TREADS SHALL BE A MINIMUM OF 11" (279) DEEP MEASURED FROM RISER TO RISER.
6. THESE DETAILS WERE DEVELOPED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) HANDBOOK DATED 1998 AND 2000.

SUMMARY OF CONSERVATION PRACTICES -

TEMPORARY MEASURES DURING CONSTRUCTION

1. EXISTING PAVEMENT WILL FUNCTION AS CONSTRUCTION ENTRANCE PADS
2. SILT SACKS WILL BE PLACED IN THE TOPS OF CATCH BASINS
3. DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
4. ALL LITTER AND DEBRIS TO BE PICKED UP ON A DAILY BASIS
5. ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER

PERMANENT MEASURES ONCE SITE IS DEVELOPED

1. ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
2. ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
3. BEFORE STORM DRAINAGE LEAVES THE SUBJECT PROPERTY, THE LAST ON-SITE CATCH BASIN WILL BE A HYDRODYNAMIC SEPARATOR.

EROSION AND SEDIMENTATION CONTROL NOTES -

1. ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF WINDSOR'S "STORMWATER MANAGEMENT ORDINANCE" AND THE "EROSION AND SEDIMENT CONTROL ORDINANCE".

EROSION AND SEDIMENTATION CONTROLS SHALL ALSO BE IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENTATION CONTROL, DEP BULLETIN 34.

2. AFTER A RAIN STORM, EROSION CONTROL MEASURES AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
3. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
4. STOCKPILES OF HAY BALES, MIRAFI FABRIC FENCE, CRUSHED STONE, STAKES, ETC. ARE TO BE MAINTAINED ON SITE FOR UNSEEN EROSION AND SEDIMENTATION PROBLEMS THAT MAY ARISE. THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF AN EMERGENCY EROSION OR SEDIMENTATION FAILURE. STOCKPILE MATERIALS SHALL BE KEPT ON THE SITE FOR THE DURATION OF THE CONSTRUCTION.
5. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.

STORM DRAINAGE MAINTENANCE SCHEDULE -

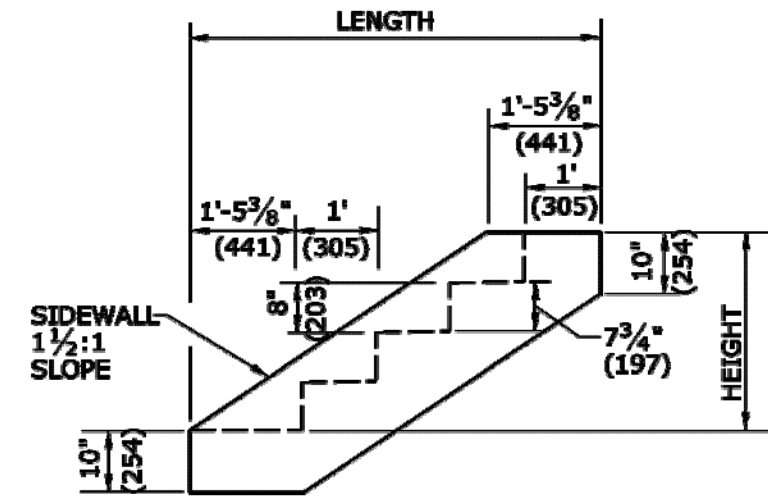
MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

- MAINTENANCE SCHEDULE:**
- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.
 - CATCH BASINS; ALL BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF SEDIMENT, TRASH, AND DEBRIS. ALL CATCH BASINS SHALL BE INSPECTED ANNUALLY BETWEEN MAY 1ST AND SEPTEMBER 15TH AND SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED MATERIAL EXCEEDS ONE (1) FOOT. ACCUMULATED SAND, DIRT AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.
 - STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION.
 - HYDRODYNAMIC SEPARATORS TO BE CLEANED PER MANUFACTURER'S RECOMMENDATION.
 - REFER TO THE LATEST EDITION OF THE CONNECTICUT GUIDELINES FOR STORM WATER QUALITY MANAGEMENT, AS WELL AS THE TOWN'S STORM WATER MANUAL AS AMENDED, AND THE TOWN'S ENGINEERING STANDARDS AND SPECIFICATIONS AS AMENDED, FOR THE PROPER IMPLEMENTATION OF STORM WATER MANAGEMENT.

STEPS CONFORMING TO 1 1/2:1 SLOPE							
HEIGHT	LENGTH	NUMBER RISERS	VOLUME OF STEPS (CU.YDS.) (m ³)	HEIGHT	LENGTH	NUMBER RISERS	VOLUME OF STEPS (CU.YDS.) (m ³)
0'-8" (203)	2'-5 3/4" (746)	1	0.474 (0.436)	6'-0" (1829)	10'-5 3/4" (3186)	9	2.564 (2.316)
1'-4" (406)	3'-5 3/4" (1051)	2	0.718 (0.671)	6'-8" (2032)	11'-5 3/4" (3489)	10	2.831 (2.551)
2'-0" (610)	4'-5 3/4" (1356)	3	0.962 (0.906)	7'-4" (2235)	12'-5 3/4" (3794)	11	3.098 (2.768)
2'-8" (813)	5'-5 3/4" (1661)	4	1.229 (1.141)	8'-0" (2438)	13'-5 3/4" (4101)	12	3.365 (3.021)
3'-4" (1016)	6'-5 3/4" (1965)	5	1.496 (1.376)	8'-8" (2642)	14'-5 3/4" (4404)	13	3.532 (3.256)
4'-0" (1219)	7'-5 3/4" (2270)	6	1.763 (1.611)	9'-4" (2845)	15'-5 3/4" (4709)	14	3.899 (3.491)
4'-8" (1422)	8'-5 3/4" (2575)	7	2.030 (1.846)	10'-0" (3048)	16'-5 3/4" (5013)	15	4.166 (3.726)
5'-4" (1626)	9'-5 3/4" (2880)	8	2.297 (2.081)	10'-8" (3251)	17'-5 3/4" (5318)	16	4.433 (3.961)

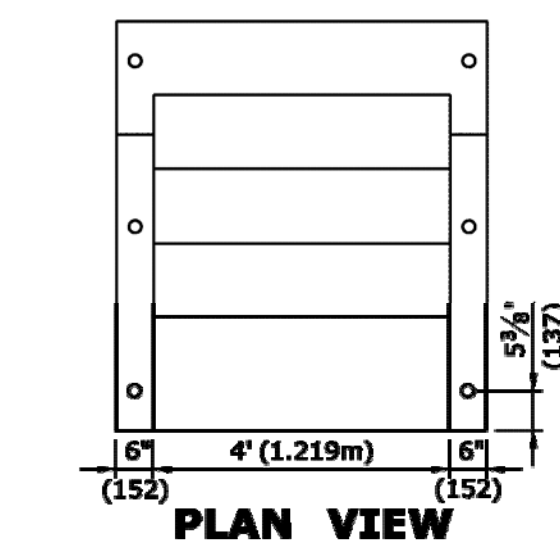
ADD 0.244 CU.YDS. (0.18 CU.MS.) FOR EACH ADDITIONAL RISER

STEPS WITH 1 1/2 : 1 SIDEWALL SLOPE

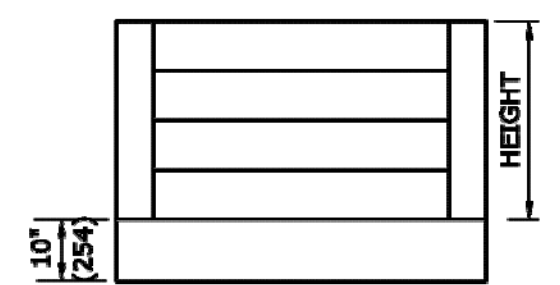


SIDE VIEW

ALL TREADS SHALL BE PITCHED 1/4" (6)



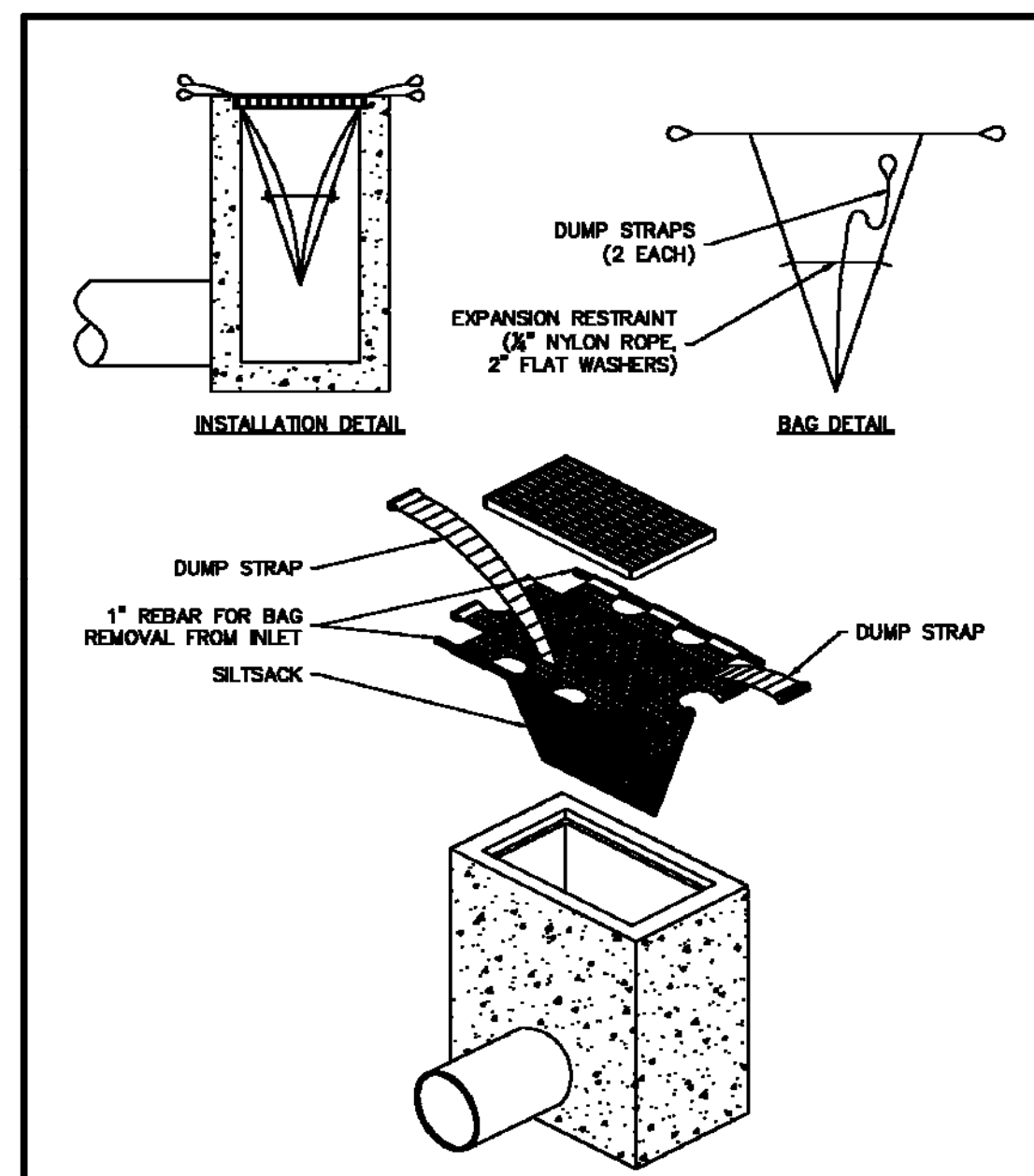
PLAN VIEW



FRONT VIEW

CONCRETE STEPS DETAIL

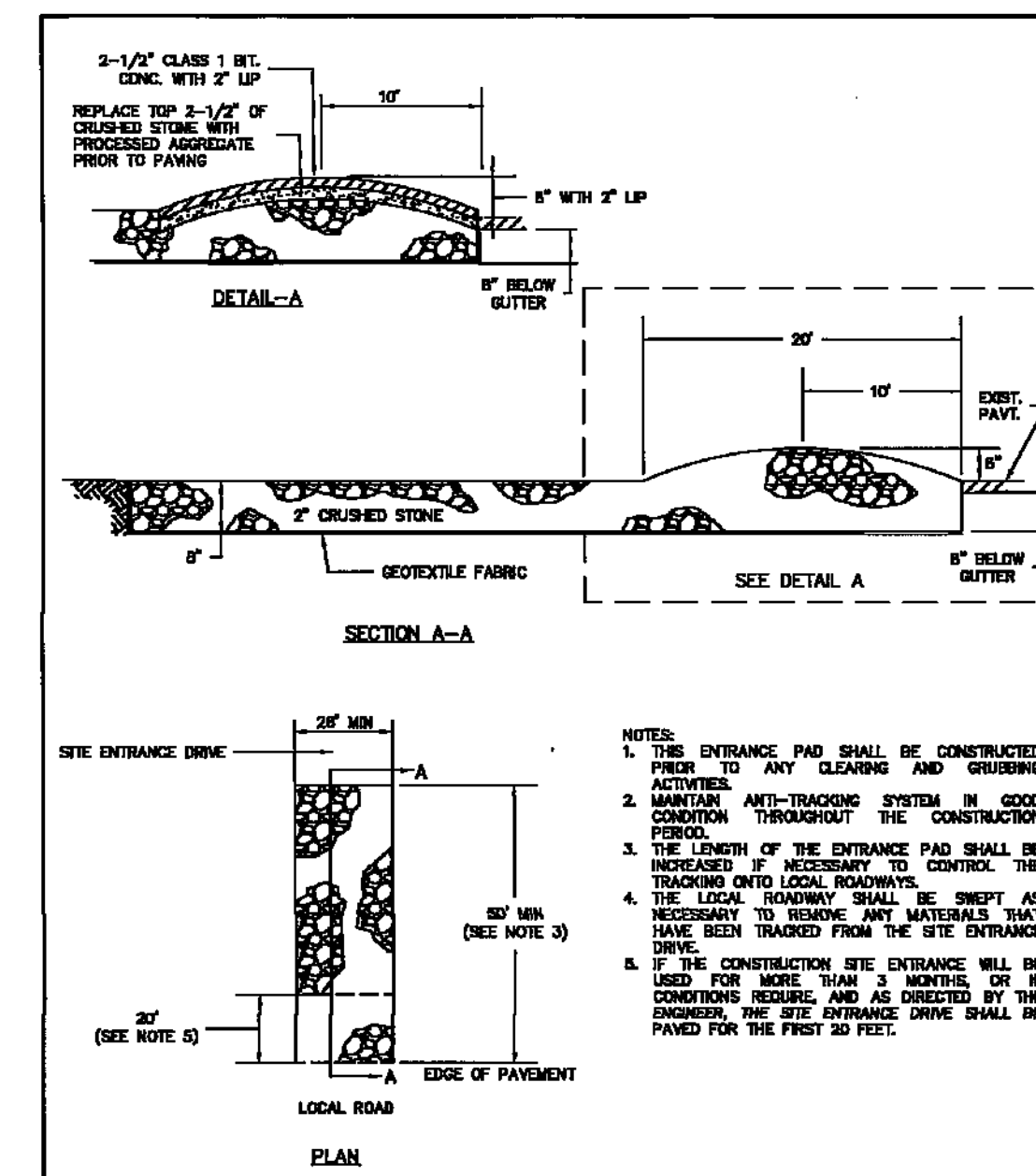
NOT TO SCALE



TOWN OF WINDSOR Engineering Department

SILT SACK AT CATCH BASIN D-103

SCALE: HOR. NTS. DATE: MAY 2010
VER.



TOWN OF WINDSOR Engineering Department

CONSTRUCTION SITE ENTRANCE PAD D-100

SCALE: HOR. NTS. DATE: MAY 2010
VER.

CONCRETE TRUCK WASHOUT NOTES:

LOCATION TO BE DETERMINED BY THE CONTRACTOR.

1. A SIGN IS TO BE INSTALLED ADJACENT TO THE WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
2. CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
3. TEMPORARY WASHOUT AREA SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
4. WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
5. CONCRETE SPOILS ARE TO BE REMOVED AFTER CURED.

SHEET C11

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

Alford ASSOCIATES, INC. CIVIL ENGINEERS WINDSOR, CONNECTICUT
WILSON M. ALFORD, JR., P.E. & L.S.
860-688-7288

DATE: _____ REVISION: _____

SCALE: 1 IN. = - FT. DATE: MARCH 14, 2023

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144 BROAD STREET WINDSOR, CONNECTICUT

DETAILED SITE PLAN
FOUNDER'S SQUARE
PREPARED FOR
GRAVA PROPERTIES
NOTES AND DETAILS