

TOTAL CURVE:
 $\Delta = 09^{\circ}36'56''$
 $R = 1422.12'$
 $L = 238.66'$

C.L. & P. CO. EASEMENT
 LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 53.79 | N02°05'58"E |
| L2 | 91.83 | N14°53'24"E |
| L3 | 35.32 | N17°28'50"W |
| L4 | 49.14 | N07°40'59"W |
| L5 | 77.09 | N16°53'09"E |
| L6 | 20.64 | S87°24'49"E |
| L7 | 77.83 | S16°53'08"W |
| L8 | 43.07 | S07°40'52"E |
| L9 | 39.47 | S17°28'50"E |
| L10 | 85.49 | S14°53'24"W |
| L11 | 46.31 | S02°05'58"W |

C.L. & P. CO. EASEMENT
 CURVE TABLE

| CURVE | LENGTH | RADIUS | DELTA |
|-------|--------|---------|----------|
| C1 | 37.42 | 1422.12 | 1°30'28" |
| C2 | 20.67 | 1422.12 | 0°49'59" |

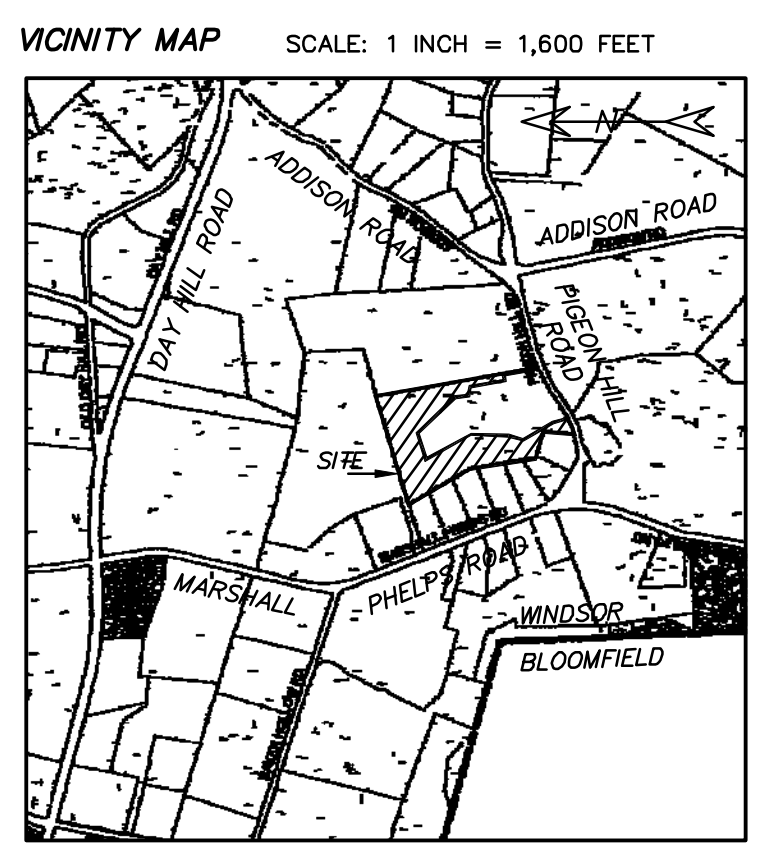
ACCESS & UTILITY EASEMENT
 LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L12 | 63.12 | N14°53'24"E |
| L13 | 66.49 | N02°12'21"E |
| L14 | 44.32 | S87°24'49"E |

ACCESS & UTILITY EASEMENT
 CURVE TABLE

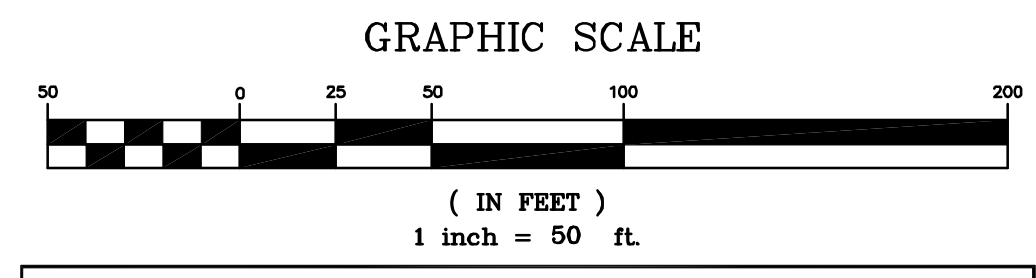
| CURVE | LENGTH | RADIUS | DELTA |
|-------|--------|---------|-----------|
| C3 | 54.66 | 1422.12 | 2°12'08" |
| C4 | 25.15 | 33.00 | 43°39'33" |
| C5 | 45.66 | 126.00 | 20°45'53" |
| C6 | 59.20 | 148.00 | 22°55'05" |
| C7 | 42.93 | 226.00 | 10°53'02" |

- LEGEND**
- EXISTING IMPROVEMENTS:
- HYDRANT
 - WATER VALVE
 - CATCH BASIN
 - FLARED END
 - SANITARY SEWER MANHOLE
 - LIGHT POLE
 - GAS METER
 - TRANSFORMER
 - HANDICAP PARKING SPACE
 - MAILBOX
 - SIGN
 - BOLLARD
 - GATE CONTROL DEVICE
 - INTERCOM
 - AIR CONDITIONING UNIT ON CONCRETE PAD
 - ABBREVIATION FOR BITUMINOUS CONCRETE
- DRAINAGE PIPE INDICATING DIRECTION OF FLOW
 - GAS PIPE
 - OVERHEAD WIRE
 - UNDERGROUND TELEPHONE & ELECTRIC SERVICE
 - EM --- ELECTRIC METER
 - GV --- GAS VALVE
 - ELEC. HH --- ELECTRIC HAND HOLE
 - UH --- UTILITY MANHOLE
 - EDGE OF WOODS



SHEET INDEX

| SHEET NUMBER | SHEET TITLE | SCALE |
|--------------|---|-----------------|
| OVERALL | OVERALL PLAN | SCALE: 1" = 50' |
| EXC-1 | EXISTING CONDITIONS PLAN | SCALE: 1" = 30' |
| G-1 | GRADING, UTILITIES AND EROSION & SEDIMENTATION CONTROL PLAN | SCALE: 1" = 30' |
| L-1 | LAYOUT PLAN | SCALE: 1" = 30' |
| NOTES-1 | NOTES AND DETAILS | |
| NOTES-2 | NOTES AND DETAILS | |



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

- REQUIRED APPROVALS AND PERMITS**
- A PERMIT IS REQUIRED BY THE WINDSOR INLAND WETLANDS AND WATERCOURSES COMMISSION FOR A PARKING AREA WITHIN THE UPLAND REVIEW AREA.
 - AN APPROVAL IS REQUIRED FOR A REVISION TO A SITE PLAN PER SECTION 3.9 FROM THE WINDSOR TOWN PLANNING & ZONING COMMISSION.
 - A SPECIAL USE PERMIT FOR A SELF STORAGE FACILITY UNDER SECTION 8.60(1) OF THE WINDSOR ZONING REGULATIONS IS REQUIRED FROM THE WINDSOR PLANNING & ZONING COMMISSION.
 - AN EROSION & SEDIMENT CONTROL PERMIT IS REQUIRED FROM THE TOWN ENGINEER.
 - A STORMWATER MANAGEMENT PERMIT IS REQUIRED FROM THE TOWN ENGINEER.
 - IN ACCORDANCE WITH THE TOWN'S STORMWATER MANAGEMENT ORDINANCE, AN INSPECTION AND MAINTENANCE AGREEMENT FOR THE LONG-TERM OPERATION AND MAINTENANCE OF ON-SITE STORMWATER FACILITIES IS TO BE RECORDED IN LAND RECORDS PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITIES.

Sheet OVERALL

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

Alford
 ASSOCIATES, INC.

CIVIL ENGINEERS
 200 PIGEON HILL ROAD
 WINDSOR, CT 06095
 (860) 688-7288

WILSON M. ALFORD, JR., P.E. & L.S.
 LICENSE #2814

SCALE: 1 IN. = 50 FT. DATE: SEPT. 25, 2023

| DATE | REVISION |
|------|----------|
| | |

PROPOSED SELF STORAGE BUILDING

OVERALL PLAN
 PREPARED FOR
STORAGE RENTALS OF AMERICA
 IMPROVEMENT LOCATION SURVEY

610 PIGEON HILL ROAD WINDSOR, CONNECTICUT

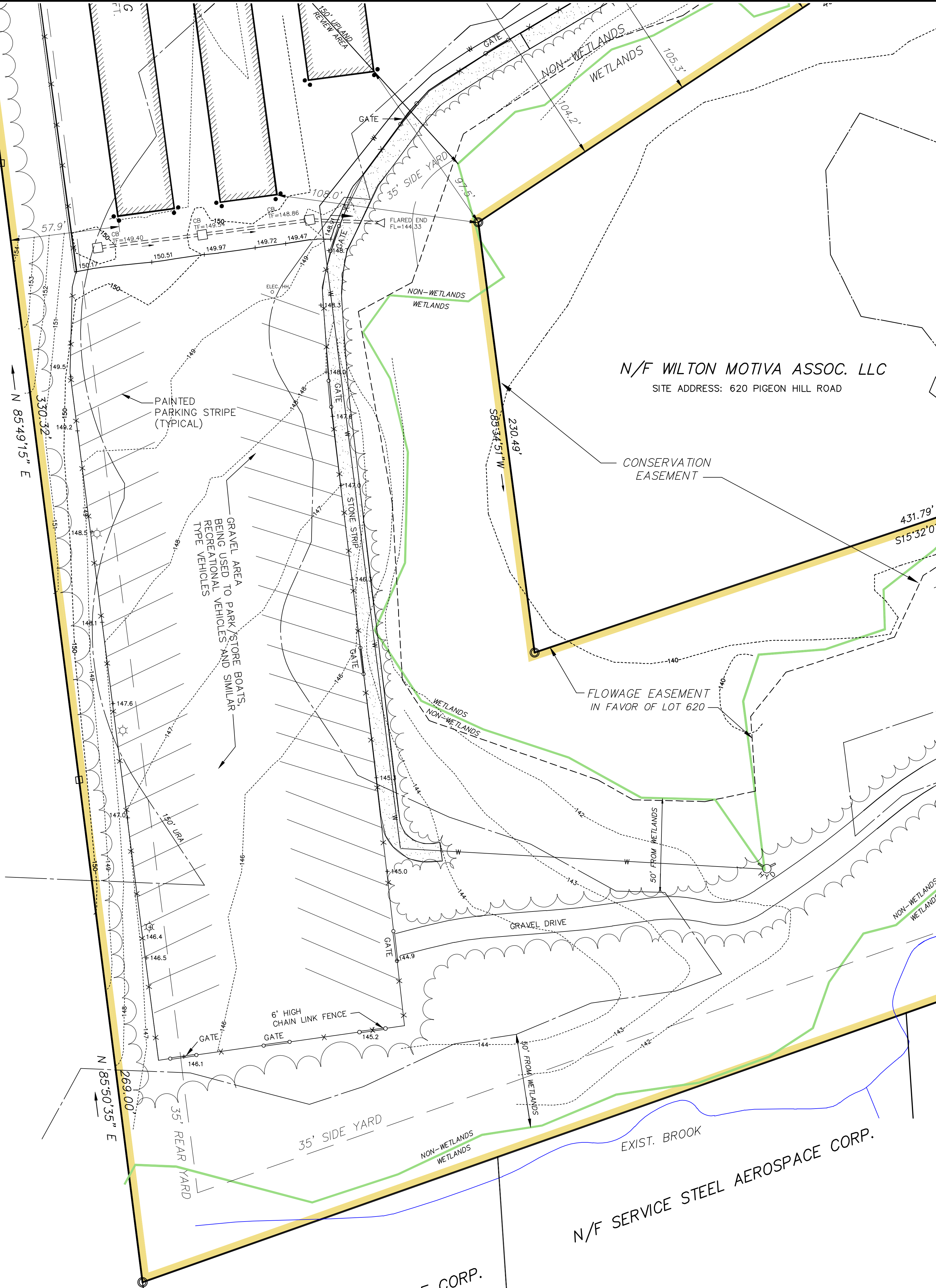
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

PROFESSIONAL ENGINEER
 No. 9344

PROFESSIONAL SURVEYOR
 No. 9344

SS: PR-OVERALL 50-2023 P: R96116 DR96116-61OPHR-2015 FOLDER: SACKETT FILE: SACKETT - 610 PIGEON HILL

N/F RIVER BEND DEVELOPMENT CT LLC




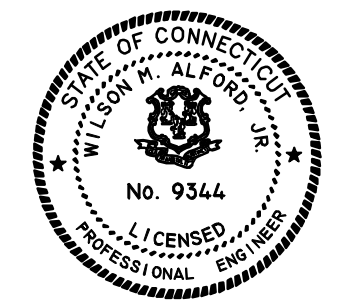
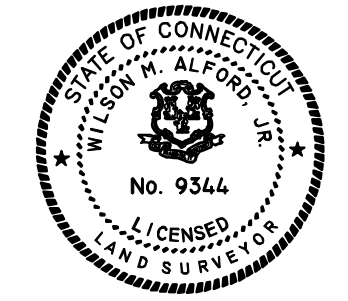
GENERAL NOTES

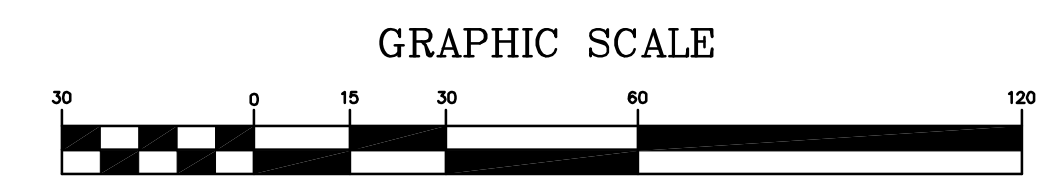
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A DEPENDENT RESURVEY BASED ON REFERENCE MAP 1 NOTED BELOW AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO BE USED AS AN IMPROVEMENT LOCATION SURVEY.
2. THE BEARINGS (NORTH ORIENTATION) SHOWN ARE BASED ON REFERENCE MAP 1 NOTED BELOW.
3. THE AREA OF THE PROPERTY IS 566,888 SQ. FT OR 13.01 ACRES.
4. THE PROPERTY IS SHOWN AS LOT 610 OF BLOCK 107 ON THE WINDSOR TOWN ASSESSOR MAP 35.
5. REFERENCE DEED FOR THE SUBJECT PROPERTY: VOLUME 1899, PAGE 250

REFERENCE MAPS

1. "SUBDIVISION PLAN PREPARED FOR THE REAL GROUP II, LLC, 620 PIGEON HILL ROAD, WINDSOR, CONNECTICUT" SCALE: 1 IN. = 50 FT., DATE: MAY 7, 2003, REVISED: JUNE 4, 2003, BY ALFORD ASSOCIATES, INC., CIVIL ENGINEERS. THIS IS MAP NO. 4990 AS RECORDED IN WINDSOR LAND RECORDS.
2. "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF THE REAL GROUP II, LLC, 620 PIGEON HILL ROAD, WINDSOR, CONNECTICUT" SCALE: 1 IN. = 50 FT., DATE: JUNE 2, 2003, CL&P FILE NO. E3145, BY ALFORD ASSOCIATES, INC., CIVIL ENGINEERS.
3. "IMPROVEMENT LOCATION SURVEY PREPARED FOR THE REAL GROUP II LLC 620 PIGEON HILL ROAD WINDSOR, CONNECTICUT SHEET 1 OF 1" SCALE: 1 IN. = 50 FT., DATE: MAY 7, 2003, REVISION DATE 6-25-03 ALFORD ASSOCIATES, INC. CIVIL ENGINEERS, WINDSOR, CONNECTICUT"

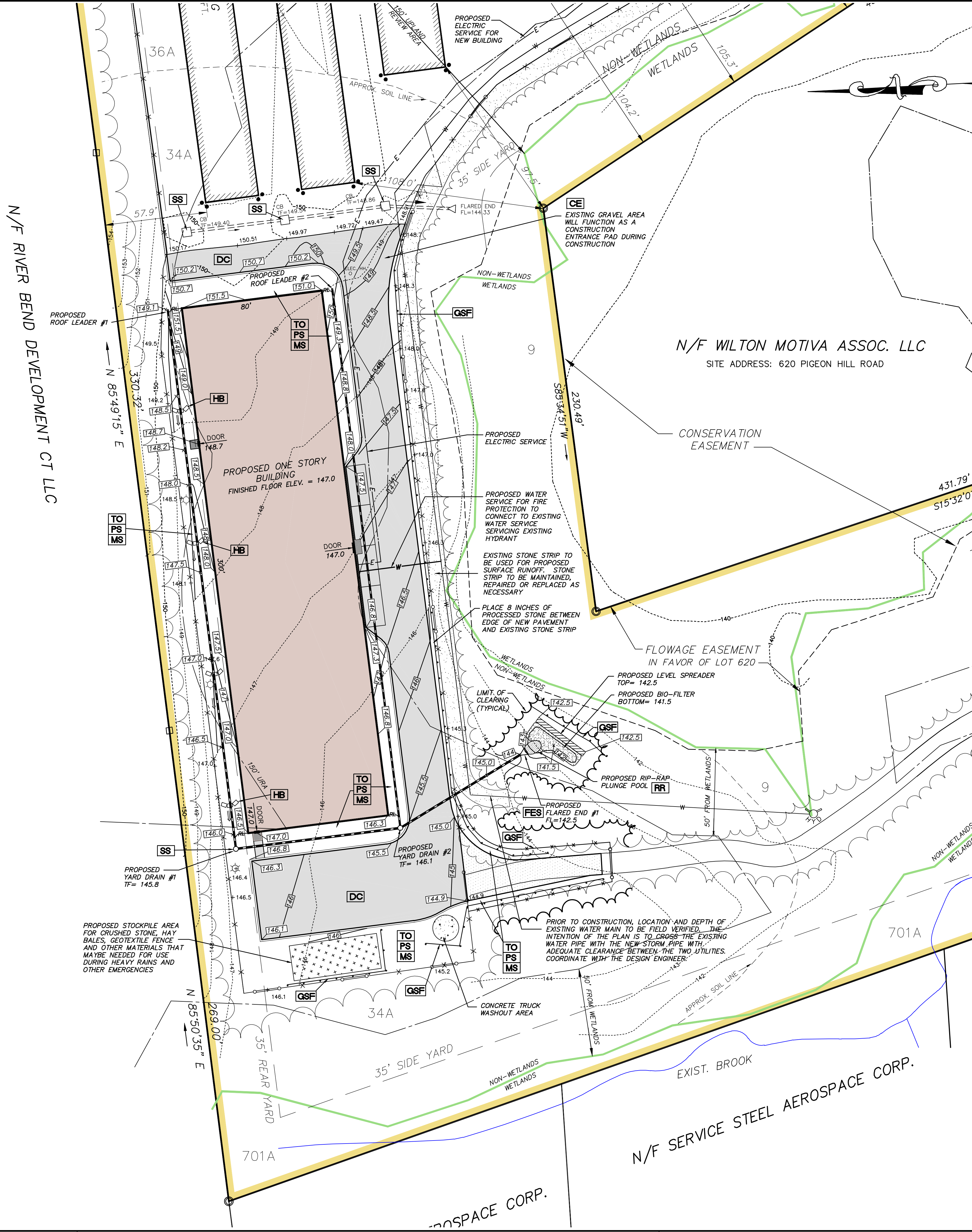
Sheet EXC-1

| | | | |
|---|----------|--|----------------------|
| | | TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. | |
| | | L.S. NO. 9344 | |
| | |  Alford ASSOCIATES, INC. | |
| | | <small>CIVIL ENGINEERS 200 PIGEON HILL ROAD WINDSOR, CT 06095 (860) 686-7288 WILSON M. ALFORD, JR., P.E. & L.S. LICENSE #9344</small> | |
| DATE | REVISION | SCALE: 1 IN. = 30 FT. | DATE: SEPT. 25, 2023 |
|  | |  | |
| NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL | | PROPOSED SELF STORAGE BUILDING EXISTING CONDITIONS PLAN PREPARED FOR STORAGE RENTALS OF AMERICA IMPROVEMENT LOCATION SURVEY 610 PIGEON HILL ROAD WINDSOR, CONNECTICUT | |



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

N/F RIVER BEND DEVELOPMENT CT LLC



VEGETATIVE COVER SCHEDULE - [PS]

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH A MINIMUM OF 10 INCHES OF TOPSOIL. SEED AS INDICATED BELOW.
 CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

PERMANENT VEGETATIVE COVER:
 PERMANENT SEEDING IS TO BE USED ON DISTURBED OR ERODIBLE SOILS THAT HAVE BEEN BROUGHT TO FINAL GRADE OR WHERE THE SUSPENSION OF WORK IS EXPECTED TO EXCEED ONE (1) YEAR.
 SEEDING DATES: APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15

LAWN AREAS
 USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY DESIGN ENGINEER.
 KENTUCKY BLUEGRASS 45%
 CREEPING RED FESCUE 45%
 PERENNIAL RYEGRASS 10%
 APPLY 1-3 LBS./1000 SQ. FT.

TEMPORARY VEGETATIVE COVER:
 TEMPORARY SEEDING SHALL BE USED WHEN SOILS WILL BE EXPOSED FOR A PERIOD OF GREATER THAN ONE (1) MONTH BUT LESS THAN TWELVE (12) MONTHS.
 SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15
 USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER
 ANNUAL RYEGRASS 100%
 APPLY 1 LB./1000 S.F.

IF FINAL GRADING IS FINISHED TOO LATE IN THE SEASON FOR ESTABLISHMENT OF VEGETATIVE COVER, AREAS DISTURBED TO BE ROUGH GRADED, COVERED WITH HAY MULCH, THEN EROSION CONTROL FABRIC OR BLANKET TO BE PLACED ON TOP OF THE HAY. EROSION CONTROL FABRIC OR BLANKET TO BE PLACED PER MANUFACTURER'S SPECIFICATIONS.

CONCRETE TRUCK WASHOUT NOTES:

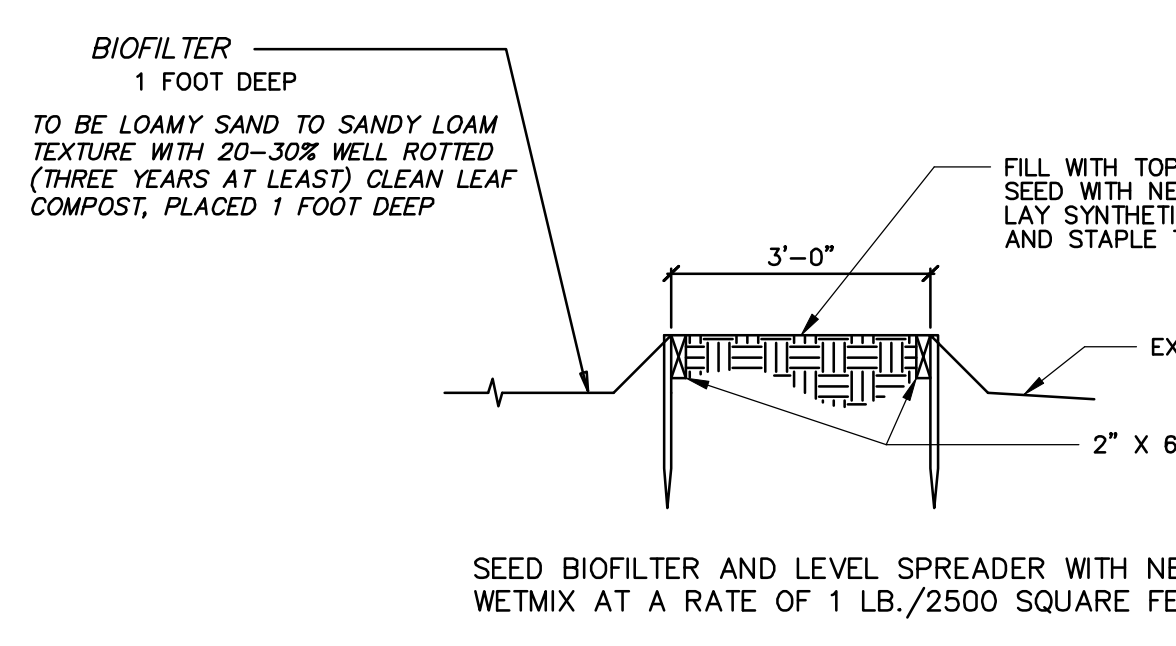
- A SIGN IS TO BE INSTALLED ADJACENT TO THE WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
- TEMPORARY WASHOUT AREA SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
- WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- CONCRETE SPOILS ARE TO BE REMOVED AFTER CURED.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER NEEDED, THE AREA IS TO BE RESTORED TO ORIGINAL EXISTING GRADE. PLACE A MINIMUM OF 10 INCHES OF TOPSOIL AND SEED PER VEGETATIVE COVER SCHEDULE.

STORM DRAINAGE SCHEDULE -

| | |
|--|--|
| ROOF LEADER #1 FL. OUT= 147.05 | ROOF LEADER #2 TO YD #2 308'- 10" HDPE @ 1.03% |
| ROOF LEADER #1 TO YD #1 308'- 10" HDPE @ 1.05% | YARD DRAIN #2 TF= 145.8 FL. IN W= 142.92 FL. IN E= 143.34 FL. OUT S= 142.92 |
| YARD DRAIN #1 TF= 145.8 FL. IN= 143.82 FL. OUT= 143.40 | YD #2 TO FLARED END #1 84'- 15" HDPE @ 0.5% |
| YD #1 TO YD #2 94'- 15" HDPE @ 0.5% | FLARED END #1 FL. OUT = 142.5 |
| ROOF LEADER #2 FL. OUT = 146.52 | |

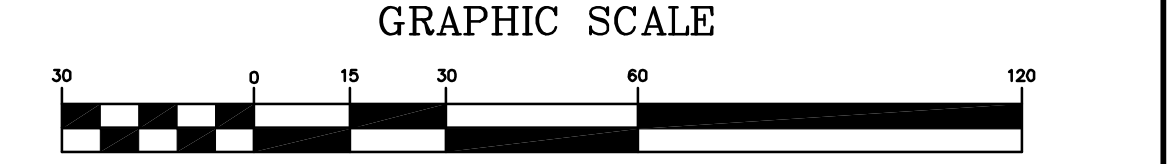
NOTE- INDIVIDUAL DOWN SPOUT CONNECTIONS INTO THE MAIN ROOF LEADER LINES TO BE COORDINATED WITH THE ARCHITECTURAL PLANS.

BIOFILTER AND LEVEL SPREADER DETAIL
 NOT TO SCALE



SOIL EROSION & SEDIMENT CONTROL LEGEND -

| | |
|---------------------------------------|---------------------------------|
| [CE] CONSTRUCTION ENTRANCE PAD | [MS] MULCH FOR SEED |
| [DC] DUST CONTROL | [PS] PERMANENT SEEDING |
| [FES] FLARED END STRUCTURE | [RR] RIP RAP PLUNGE POOL |
| [GSF] GEOTEXTILE SILT FENCE | [SS] SILT SACK |
| [HB] HAYBALE BARRIER | [TO] TOPSOIL |



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

SITE PLAN NOTES -

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ZONING REGULATIONS AND THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
- MATERIAL THICKNESSES SPECIFIED ARE COMPACTED THICKNESSES.
- PROPOSED PAVEMENT SHALL MAKE A SMOOTH TRANSITION WITH THE EXISTING PAVEMENT.
- ROUND TOPS AND TOES OF ALL PAVED AND PLANTED SLOPES.
- UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS. THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM #16, AMENDED, AND WITH MANUFACTURER'S SPECIFICATIONS. PROPOSED WATER AND SEWER SHALL CONFORM TO M.D.C. SPECIFICATIONS AND DETAILS.
- WASTE CONTROL IS TO BE MAINTAINED ON THE SITE AT ALL TIMES. THIS INCLUDES ACCUMULATED SEDIMENT AND LITTER. SPECIFICALLY, ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY.
- THE CONTRACTOR/DEVELOPER SHALL NOTIFY THE TOWN ENGINEER AND/OR THE INWC AGENT AT LEAST TWO (2) WORKDAYS BEFORE THE FOLLOWING:
 - START OF CONSTRUCTION
 - COMPLETION OF CLEARING LIMIT DEMARCATION
 - INSTALLATION OF E&S MEASURES
 - COMPLETION OF SITE CLEARING
 - COMPLETION OF ROUGH GRADING
 - COMPLETION OF FINAL GRADING
 - CLOSE OF CONSTRUCTION SEASON
 - PRIOR TO THE REMOVAL OF CONSTRUCTION E&S CONTROL SYSTEM
- THE DEVELOPER SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITIES.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE TOPSOIL IS THE PROPERTY OF THE OWNER.
- NO RECLAIMED OR RECYCLED MATERIALS SHALL BE USED WITHOUT THE DESIGN ENGINEER'S WRITTEN AUTHORIZATION.
- THE INTENTION OF THIS PLAN IS NOT TO POND SURFACE WATER WITHIN THE PAVED AREAS.
- PROPOSED LIGHTS WILL BE WALL PACKS MOUNTED TO THE BUILDING, AS SHOWN ON THE ARCHITECTURAL PLANS. PROPOSED LIGHTS SHALL BE SHIELDED TO CONFINE ILLUMINATION TO THE SUBJECT SITE.
- AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHOULD BE SAW CUT. TACK COAT EDGE AND SEAL JOINT WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
- ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND. LOCATION AND DESIGN OF NEW UTILITIES TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. SIZE AND LOCATION OF PROPOSED FIRE WATER SERVICE FOR THE PROPOSED BUILDING SHALL BE DETERMINED BY THE MECHANICAL ENGINEER. FINAL DETERMINATION OF FIRE WATER SERVICE MATERIALS, RESTRAINTS, METER AND OTHER APPLICABLE MATERIALS SHALL BE COORDINATED WITH THE MDC. THERE IS NO DOMESTIC WATER PROPOSED FOR THE NEW BUILDING.
- ANY PROPOSED SIGNAGE WILL REQUIRE FURTHER REVIEW BY THE TOWN OF WINDSOR PLANNING DEPARTMENT.
- EXISTING TOPOGRAPHY WITHIN THE AREA OF THE PROPOSAL HAS BEEN FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN SEPTEMBER OF 2023.
- EDGE OF WETLANDS WERE FLAGGED BY DAVID H. LORD, CERTIFIED SOIL SCIENTIST, FROM SOIL RESOURCE CONSULTANTS, MERIDEN, CT, IN JUNE AND JULY, 2002. TOTAL AREA OF WETLANDS ON THE SUBJECT PROPERTY = 2.5± ACRES. TOTAL AREA OF 150-FOOT UPLAND REVIEW AREA ON THE SUBJECT PROPERTY = 8.4± ACRES.
- BASED ON A PLAN ENTITLED "NATURAL DIVERSITY DATA BASE AREAS WINDSOR, CT JUNE 2023" PREPARED BY CT DEEP, THE SUBJECT PROPERTY IS NOT WITHIN AN AREA OF CONCERN.
- BASED ON A PLAN ENTITLED "NATIONAL FLOOD HAZARD LAYER FIRMETTE 090030356F EFF. DATE 9-26-2008", PREPARED BY FEMA, THE SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.
- THE PROPOSED BUILDING DOES NOT REQUIRE A SANITARY SEWER DISPOSAL SYSTEM.
- THERE ARE NO ZONING VIOLATIONS WITH RESPECT TO LOCATION OF THE PROPOSED BUILDING, IF ERRECTED AS SHOWN.
- PROPOSED BUILDING IS TO BE SPRINKLERED AND SHALL COMPLY WITH THE MDC'S REQUIREMENTS FOR SYSTEM PROTECTION IN ADDITION TO THE REQUIREMENTS OF THE CONNECTICUT STATE FIRE SAFETY CODE AND PROTECTION CODE.
- NO STUMPS ARE TO BE BURIED ON SITE.

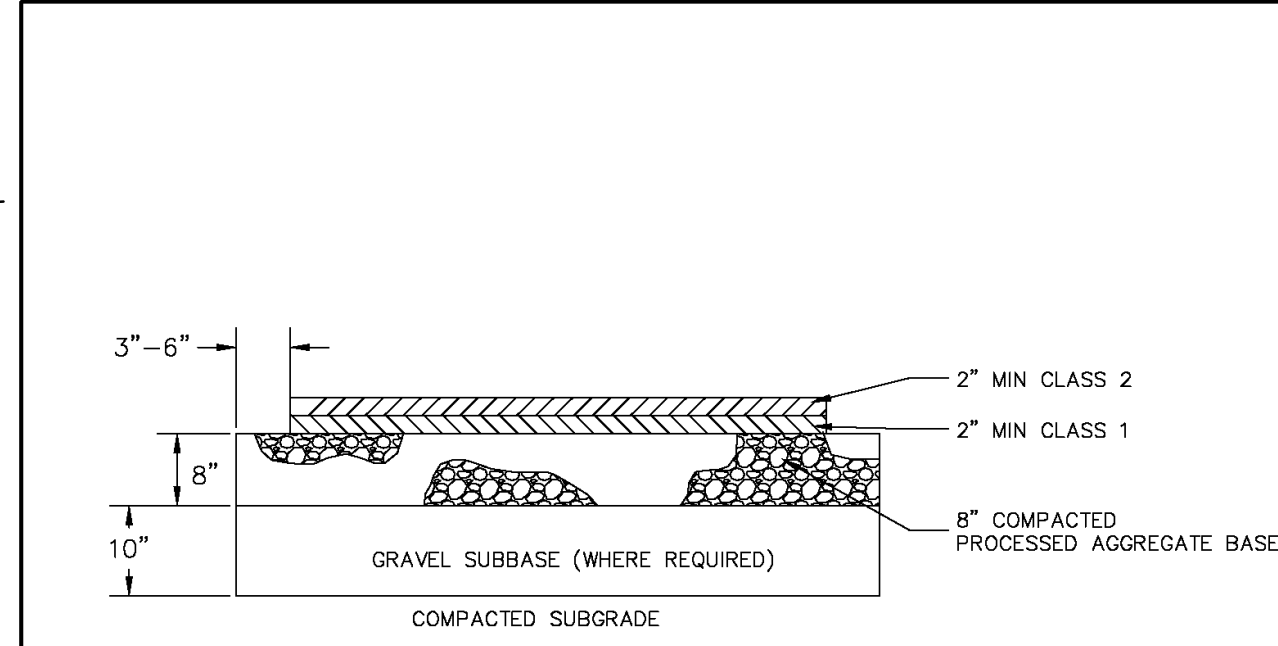
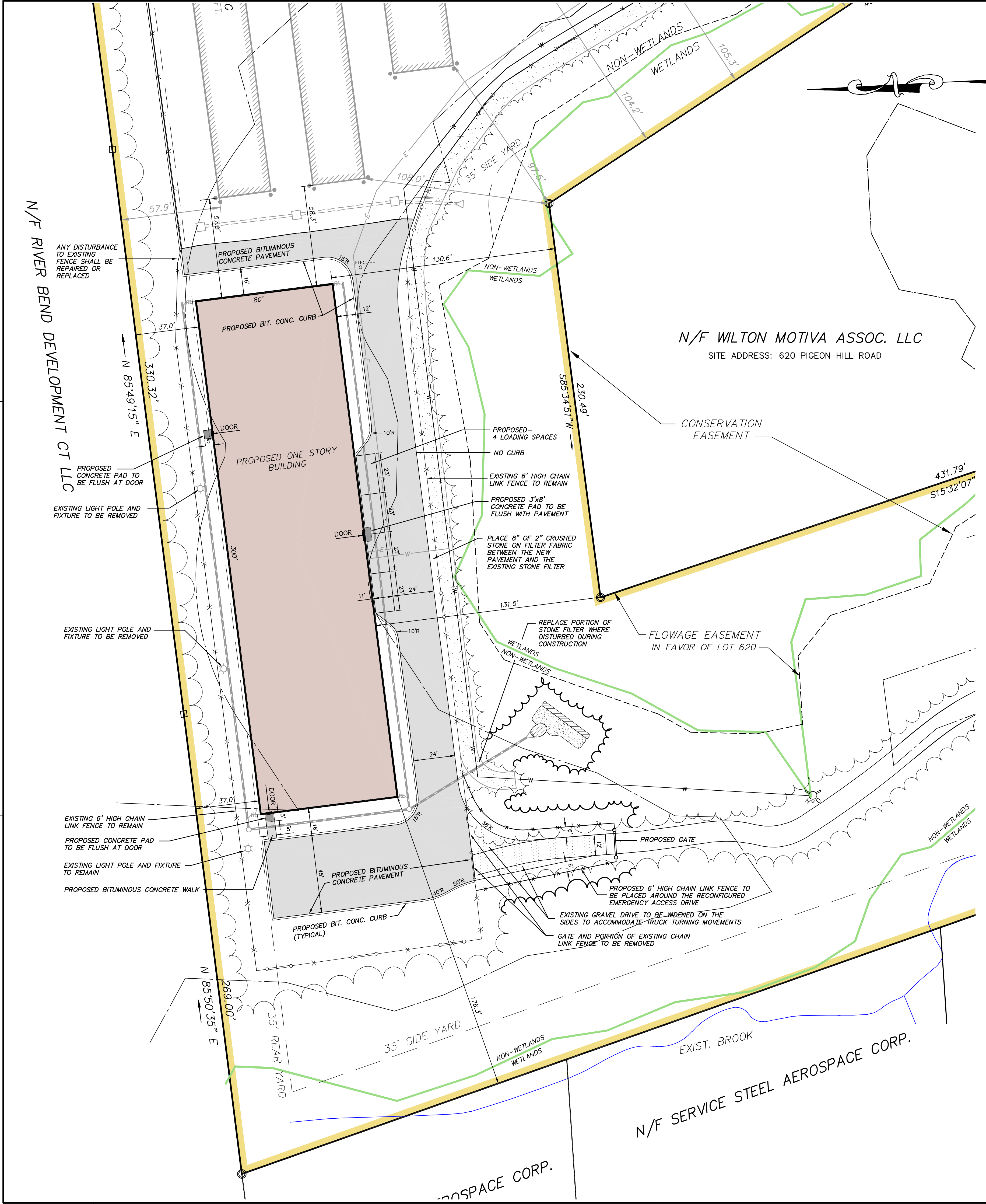
SOIL TYPES -

SOIL TYPES HAVE BEEN TAKEN FROM THE "WEB SOIL SURVEY" PRODUCED BY THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS OPERATED BY THE USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS).

| MAP UNIT SYMBOL | MAP UNIT NAME |
|-----------------|--|
| 9 | SCITCO, SHAKER, AND MAYBID SOILS |
| 34A | MERRIMAC FINE SANDY LOAM, 0 TO 3% SLOPES |
| 36A | WINDSOR LOAMY SAND, 0 TO 3% SLOPES |
| 701A | NINIGRET FINE SANDY LOAM, 0 TO 3% SLOPES |

Sheet G-1

| | | | |
|--|----------|---|----------------------|
| TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. | | L.S. NO. 9344 | |
| | | CIVIL ENGINEERS 200 PIGEON HILL ROAD WINDSOR, CT 06095 (860) 688-7288 | |
| | | WILSON M. ALFORD, P.E. & L.S. LICENSE #9344 | |
| DATE | REVISION | SCALE: 1 IN. = 30 FT. | DATE: SEPT. 25, 2023 |
| | | PROPOSED SELF STORAGE BUILDING GRADING, UTILITIES AND EROSION & SEDIMENTATION CONTROL PLAN PREPARED FOR STORAGE RENTALS OF AMERICA IMPROVEMENT LOCATION SURVEY | |
| NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL | | 610 PIGEON HILL ROAD | WINDSOR, CONNECTICUT |



- NOTES:
- CONSTRUCTION SHALL BE EXCAVATED OR FILLED 12 INCHES BELOW FINISHED GRADE AND EXTEND 6 INCHES MINIMUM BEYOND THE OUTSIDE EDGES OF THE PAVED AREAS OR 3 INCHES BEYOND CURBING (IF CURBING IS INSTALLED).
 - SUBBASE SHALL BE PROPERLY GRADED TO FORM A UNIFORM BASE.
 - BASE SHALL BE A MINIMUM 6 INCHES OF PROCESSED AGGREGATE BASE AND SHALL BE COMPACTED IN 4-INCH LIFTS UTILIZING A ROLLER WEIGHING A MINIMUM OF 10,000 POUNDS.
 - BITUMINOUS CONCRETE SHALL BE PLACED AND COMPACTED IN 2-INCH LIFTS TO THE REQUIRED DEPTH (4 INCHES MINIMUM) USING A ROLLER WEIGHING A MINIMUM 10,000 POUNDS WITH NO COLD JOINTS.
 - AT ANY POINT WHERE A NEW PAVEMENT WILL MATCH EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT VERTICALLY TO A SMOOTH EDGE AND A TACK COAT APPLIED. AFTER PLACEMENT OF THE PAVEMENT, THE JOINT SHALL BE SEALED WITH A HOT ASPHALT MATERIAL, AC-20 OR APPROVED EQUIVALENT.
 - TACK COAT SHOULD BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE FOR LONGER THAN 72 HOURS.

TOWN OF WINDSOR
Engineering Department

SCALE: HOR. NTS. DATE: NOV 2010
VER.

BITUMINOUS CONCRETE
COMMERCIAL PARKING AREAS
AND DRIVES D-210

- GENERAL NOTES FOR PAVEMENT AREAS -**
- AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHALL BE SAW CUT. TACK COAT EDGES AND SEAL JOINTS WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
 - TACK COAT SHOULD BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE LONGER THAN 72 HOURS.

ZONING SUMMARY

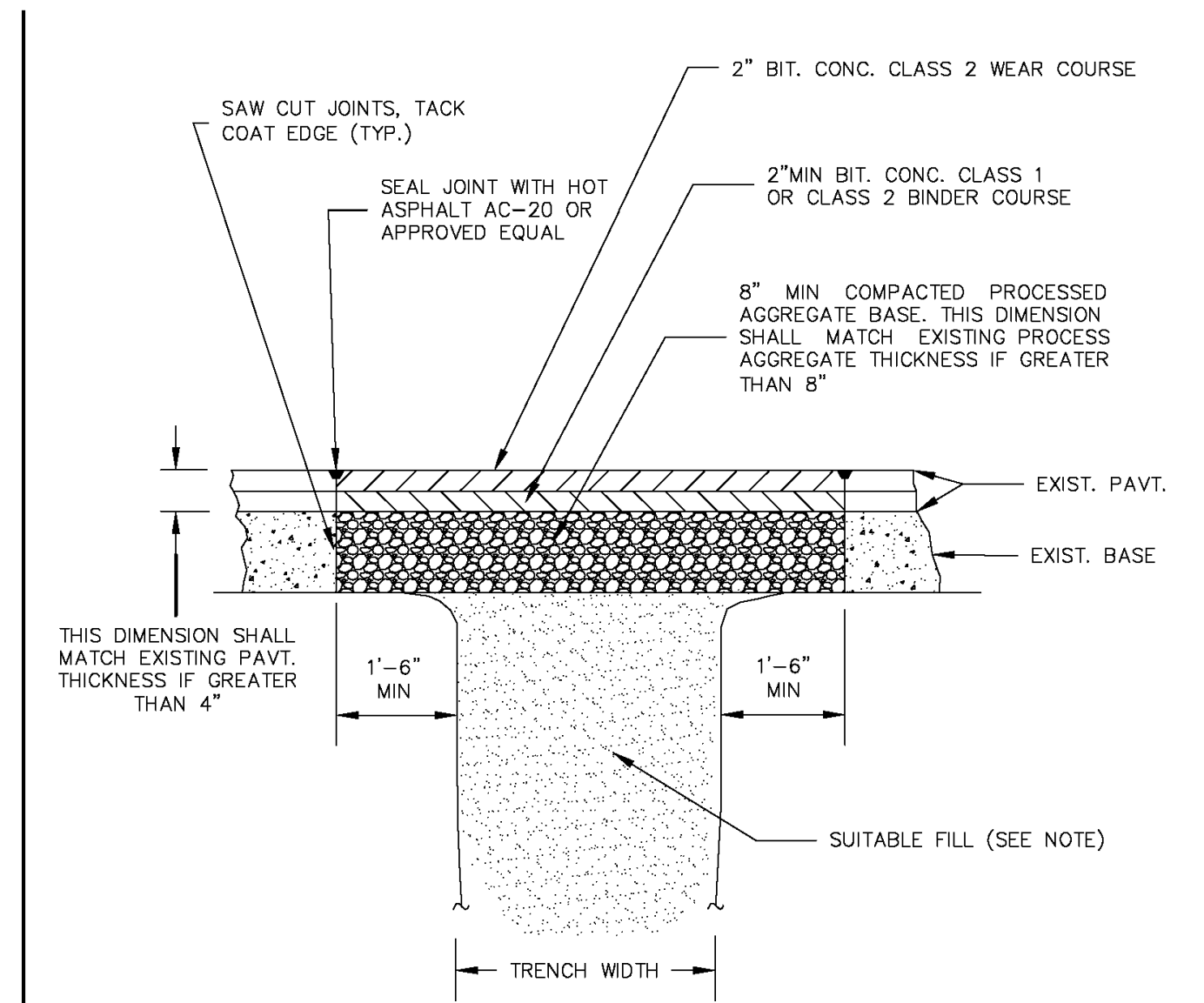
THE PROPERTY IS ZONED "I" INDUSTRIAL.

EXISTING USE: SIX (6) MINI SELF-STORAGE BUILDINGS AND A PARKING LOT FOR RECREATIONAL TYPE VEHICLES. THE OFFICE FOR THE FACILITY IS IN ONE OF THE SELF-STORAGE BUILDINGS.

PROPOSAL: TO BUILD ONE (1), 24,000 SQ. FT. CLIMATE CONTROLLED BUILDING WITHIN THE EXISTING OUTDOOR AREA WHERE THE RECREATIONAL VEHICLES ARE PARKED. THE SIX (6) EXISTING BUILDINGS WILL REMAIN. THE EXISTING OFFICE WILL ALSO SERVE THE NEW BUILDING.

A SPECIAL USE PERMIT FOR A SELF STORAGE FACILITY IS REQUIRED UNDER SECTION 8.60(1) IN THE WINDSOR ZONING REGULATIONS.

| ITEM | REQUIRED / PERMITTED | EXISTING | PROPOSED |
|----------------------|---|-------------------------------|---|
| LOT AREA | FIVE (5) ACRES MINIMUM | 566,888 SQ. FT. = 13.01 ACRES | NO CHANGE |
| LOT WIDTH | 180' MINIMUM | GREATER THAN 180' | NO CHANGE |
| FRONT YARD | 50' MINIMUM | GREATER THAN 50' | GREATER THAN 50' |
| SIDE YARD | 35' MINIMUM | 51.7' | 131.5' |
| REAR YARD | 35' MINIMUM | 56.9' | 37.0' |
| BUILDING HEIGHT | 4 STORIES OR 60' MAX. | 1 STORY / 10'± | 1 STORY / 12'± |
| BUILDING COVERAGE | 33 1/3% MAXIMUM | 7.4% | 11.5% |
| IMPERVIOUS COVERAGE* | 50% MAXIMUM | 34.1% | 31.6% IMPERVIOUS AREA INCLUDES BUILDINGS, PAVEMENT FOR VEHICLE PARKING, DRIVES, GRAVEL AREA FOR RECREATIONAL VEHICLE STORAGE & EMERGENCY ACCESS DRIVE |
| PARKING | ORIGINAL SITE PLAN WAS APPROVED IN 2003. REQUIREMENT FOR PARKING WAS 1 SPACE FOR 250 SQ. FT. OF OFFICE = 600 SQ. FT. 600 / 250 = 2.4 SPACES REQUIRED 4 SPACES EXIST | | CURRENTLY NO ADDITIONAL OFFICE IS PROPOSED. NO ADDITIONAL PARKING IS PROPOSED. |

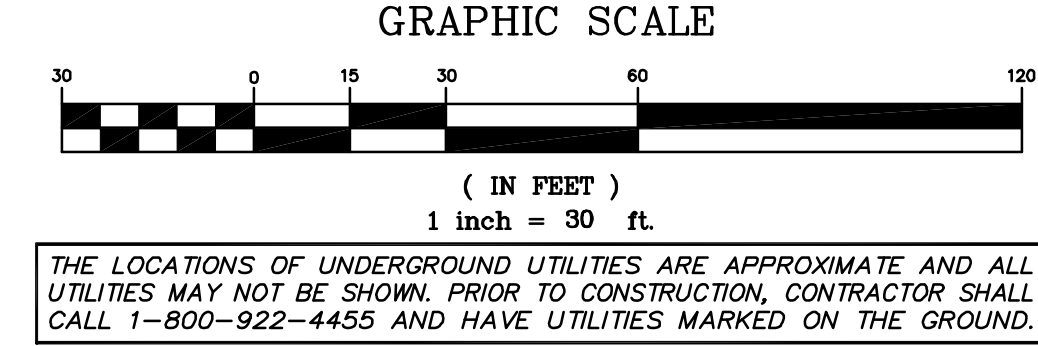


- NOTES:
- SUITABLE FILL AND PROCESSED AGGREGATE BASE SHALL BE COMPACTED 95% PER AASHTO T-180 METHOD "D".
 - IF GREATER THAN 5 LINEAR FEET OF EXISTING PAVEMENT MARKINGS HAVE BEEN REMOVED THEN THE PAVEMENT MARKINGS SHALL BE REPLACED WITH EITHER HOT-APPLIED OR EPOXY RESIN PAVEMENT MARKINGS TO MATCH EXISTING CONDITIONS.
 - SUPERPAVE MAY BE USED IN PLACE OF CLASS 1 AND CLASS 2 BITUMINOUS CONCRETE WITH THE APPROVAL OF THE TOWN ENGINEER.

TOWN OF WINDSOR
Engineering Department

SCALE: HOR. NTS. DATE: JUNE 2016
VER.

BITUMINOUS CONCRETE
PAVEMENT REPAIRS
D-203



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

Sheet L-1

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

Alford
ASSOCIATES, INC.

CIVIL ENGINEERS
200 PIGEON HILL ROAD
WINDSOR, CT 06095
(860) 686-7288
WILSON M. ALFORD, P.E. & L.S.
LICENSE #9344

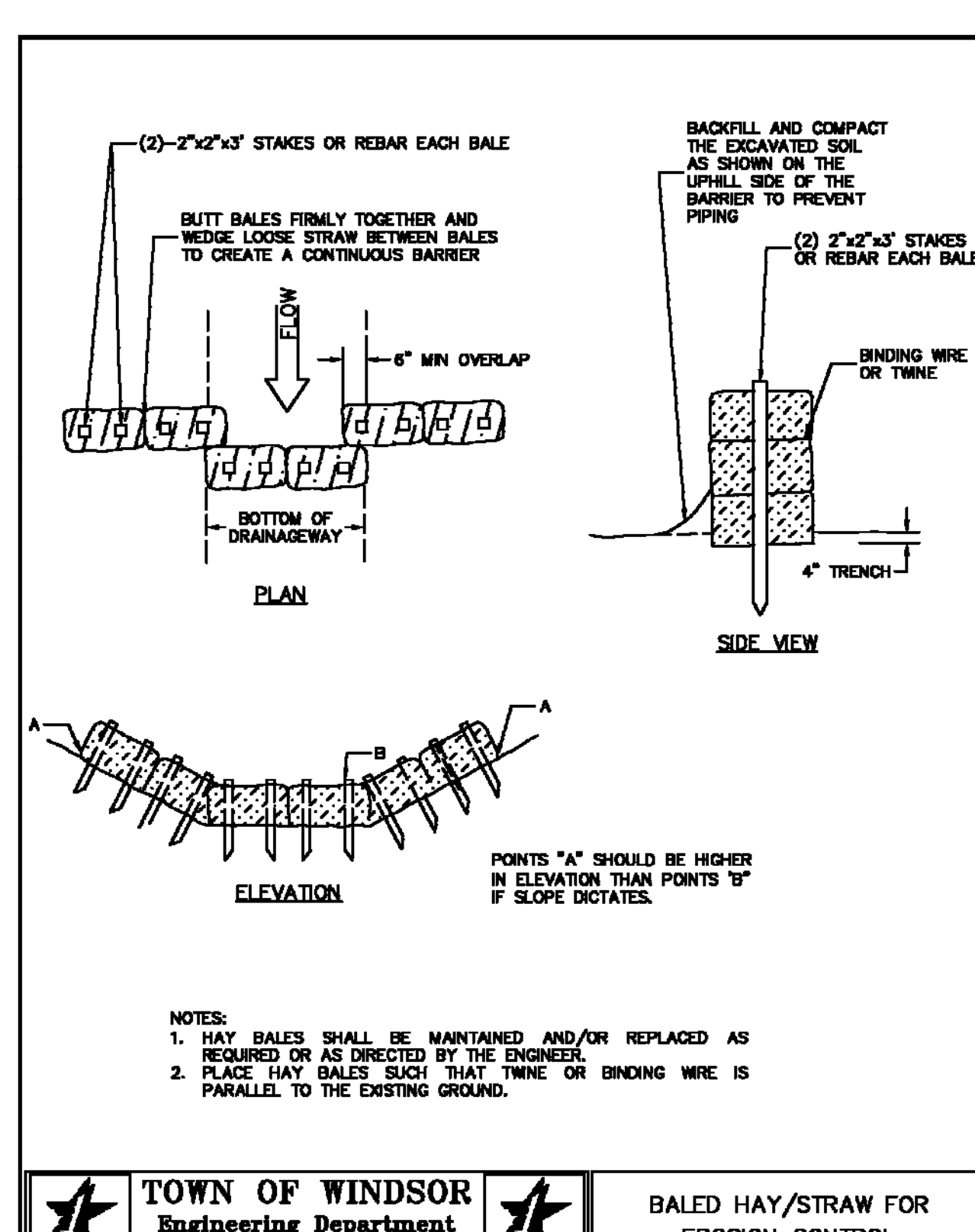
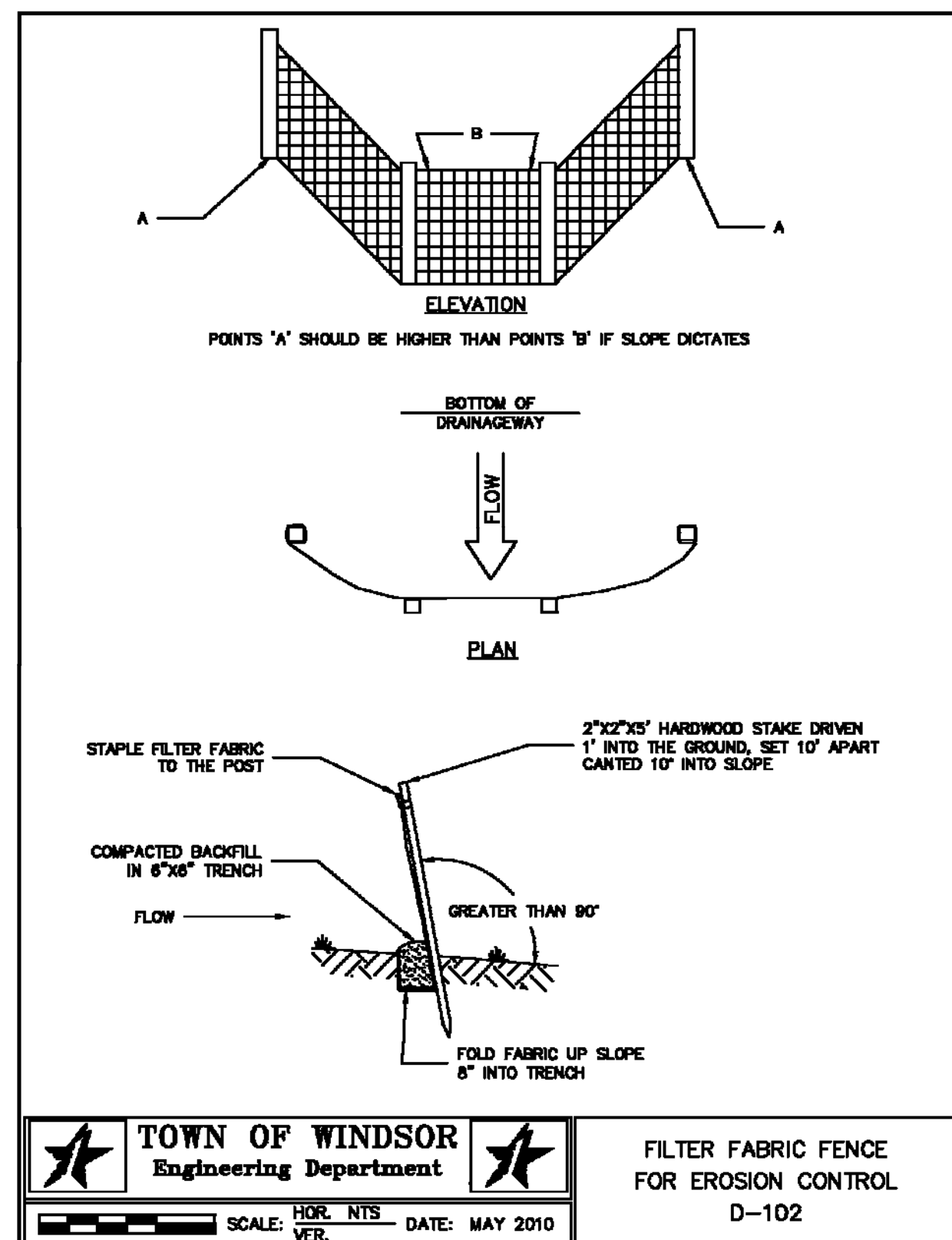
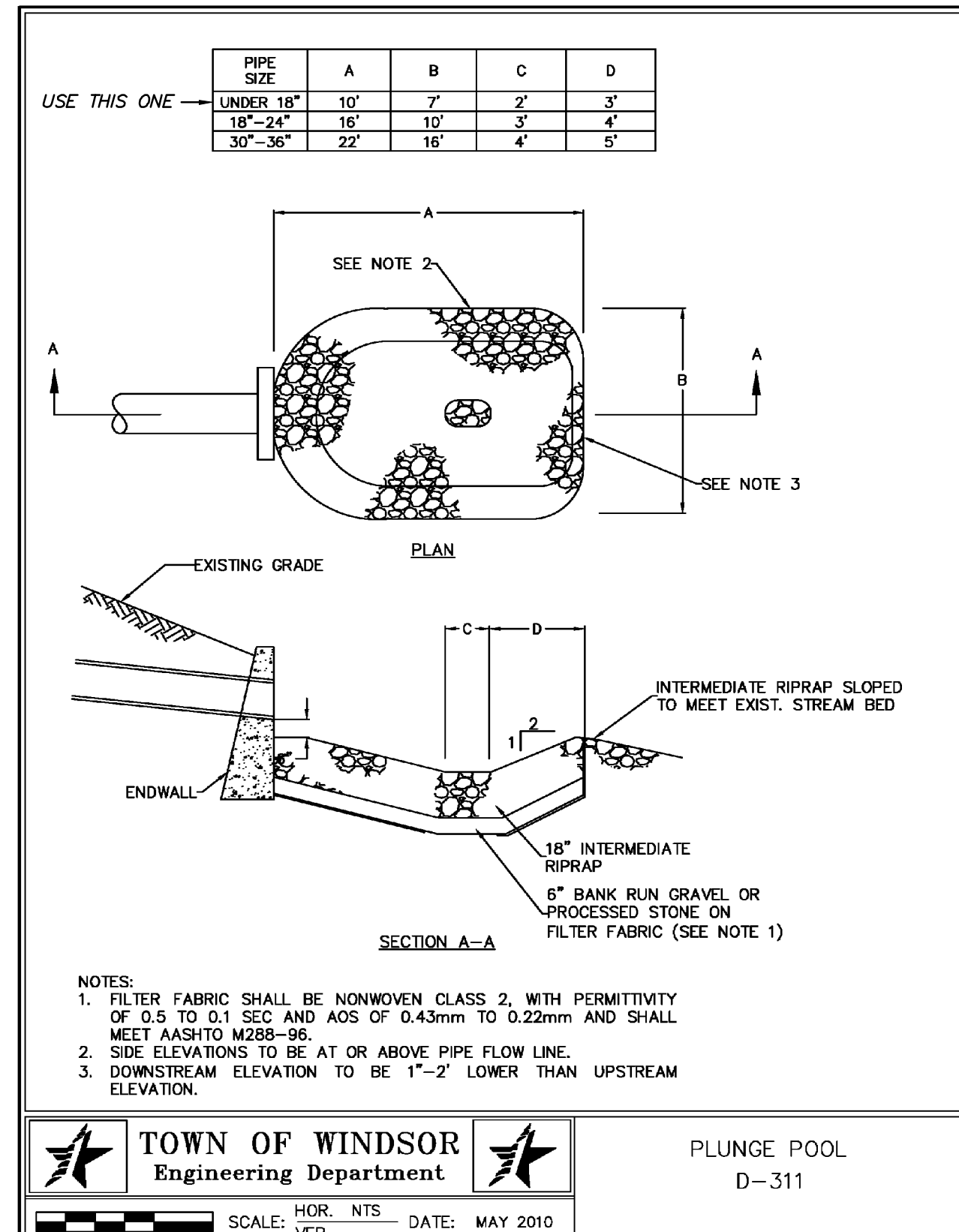
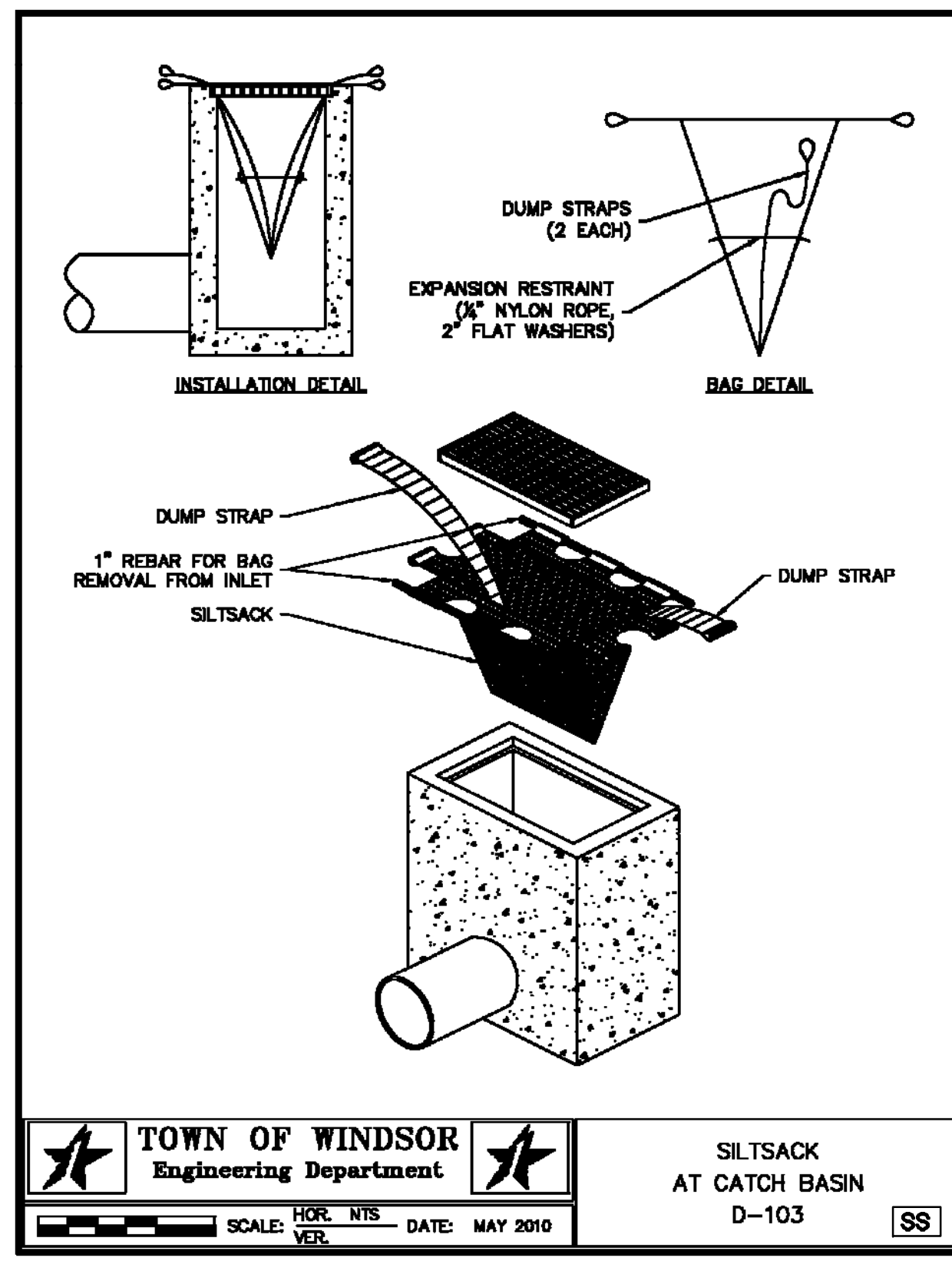
DATE: _____ REVISION: _____

SCALE: 1 IN. = 30 FT. DATE: SEPT. 25, 2023

PROPOSED SELF STORAGE BUILDING

LAYOUT PLAN
PREPARED FOR
STORAGE RENTALS OF AMERICA
IMPROVEMENT LOCATION SURVEY

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL 610 PIGEON HILL ROAD WINDSOR, CONNECTICUT



SUMMARY OF CONSERVATION PRACTICES -

TEMPORARY MEASURES DURING CONSTRUCTION

1. CONSTRUCTION ENTRANCE PAD
2. MIRAFI FABRIC FENCE TO BE PLACED IN AREAS AS SHOWN ON THE PLAN
3. DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
4. ALL LITTER AND DEBRIS TO BE PICKED UP ON A DAILY BASIS
5. ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER
6. SILT SACKS WILL BE PLACED IN EXISTING CATCH BASINS AND PROPOSED YARD DRAINS.
7. HAY BALE BARRIERS WILL BE PLACED ALONG SWALE.

PERMANENT MEASURES ONCE SITE IS DEVELOPED

1. ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
2. ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
3. SURFACE WATER WILL BE DIRECTED TOWARDS A STONE STRIP OR STORM DRAINAGE THAT WILL OUTLET TO A BIOFILTER / LEVEL SPREADER.

EROSION AND SEDIMENTATION CONTROL NOTES -

1. ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF WINDSOR'S "STORMWATER MANAGEMENT ORDINANCE" AND THE "EROSION AND SEDIMENT CONTROL ORDINANCE".

EROSION AND SEDIMENTATION CONTROLS SHALL ALSO BE IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENTATION CONTROL, DEP BULLETIN 34.

2. AFTER A RAIN STORM, EROSION CONTROL MEASURES AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
3. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
4. STOCKPILES OF HAY BALES, MIRAFI FABRIC FENCE, CRUSHED STONE, STAKES, ETC. ARE TO BE MAINTAINED ON SITE FOR UNSEEN EROSION AND SEDIMENTATION PROBLEMS THAT MAY ARISE.

THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF AN EMERGENCY EROSION OR SEDIMENTATION FAILURE.

STOCKPILE MATERIALS SHALL BE KEPT ON THE SITE FOR THE DURATION OF THE CONSTRUCTION.

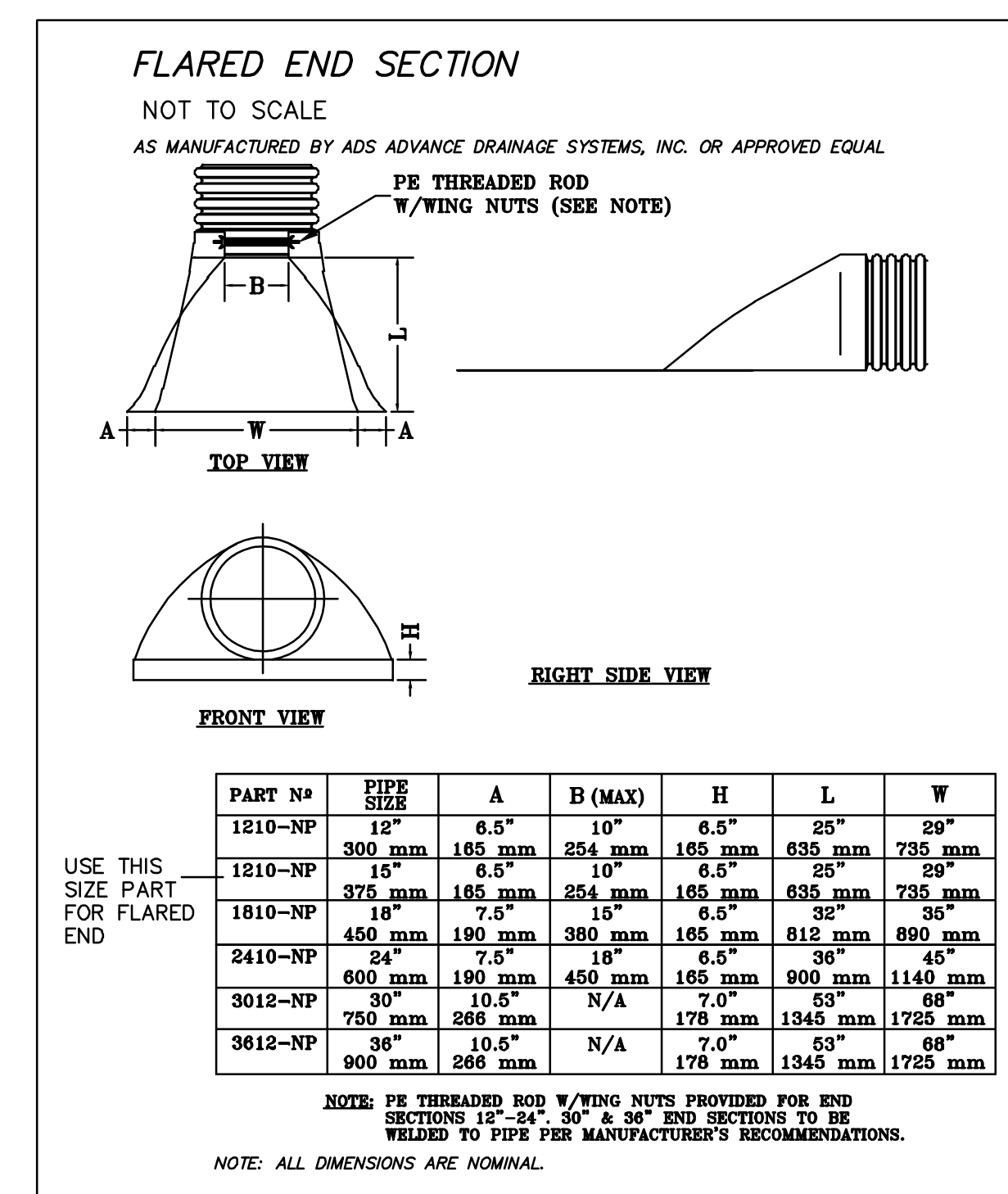
5. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.

STORM DRAINAGE MAINTENANCE SCHEDULE -

MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

MAINTENANCE SCHEDULE:

- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.
- STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION.
- DETENTION BASIN AND WATER QUANTITY BASIN; BASINS SHALL BE INSPECTED ANNUALLY FOR EVIDENCE OF EROSION. UNDERCUT OR ERODED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF DOCUMENTATIONS.
- REFER TO THE LATEST EDITION OF THE CONNECTICUT GUIDELINES FOR STORMWATER QUALITY MANAGEMENT, AS WELL AS THE TOWN'S STORMWATER MANUAL AS AMENDED, AND THE TOWN'S ENGINEERING STANDARDS AND SPECIFICATIONS AS AMENDED, FOR THE PROPER IMPLEMENTATION OF STORMWATER MANAGEMENT.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

CONSTRUCTION AND EROSION AND SEDIMENTATION CONTROL NARRATIVE -

1. THE SUBJECT PROPERTY IS A 13.01 ACRE PARCEL, KNOWN AS 610 PIGEON HILL ROAD, AND LOCATED IN WINDSOR, CONNECTICUT. THERE ARE SOME WETLANDS LOCATED ON THE PARCEL. THE PARCEL IS ZONED INDUSTRIAL.
2. IN 2003, A TP&ZC APPROVED A SITE PLAN FOR MINI SELF STORAGE BUILDINGS AND A PARKING AREA FOR RECREATIONAL VEHICLES. PLAN WAS FOR TWO (2) PHASES CONSTRUCTION. PHASE 1, INCLUDING SIX (6) MINI SELF STORAGE BUILDINGS AND PARKING AREA FOR RECREATIONAL VEHICLES, WAS CONSTRUCTED. PHASE 2, FOR AN ADDITIONAL SEVEN (7) MINI SELF STORAGE BUILDINGS, WAS NEVER CONSTRUCTED.
3. THE CURRENT PROPOSAL IS FOR ONE (1) CLIMATE CONTROLLED 24,000 SQ. FT. SELF STORAGE BUILDING. THE BUILDING IS PROPOSED WITHIN THE AREA OF THE EXISTING RECREATIONAL VEHICLE PARKING LOT. PROPOSAL ALSO INCLUDES CONSTRUCTION OF RELATED DRIVEWAYS AND STORM DRAINAGE OUTLET.
4. THE ANTICIPATED START OF CONSTRUCTION IS PROPOSED FOR THE AUTUMN AND WINTER OF 2023 WITH FINAL COMPLETION WITHIN APPROXIMATELY NINE (9) MONTHS.

SEQUENCE OF CONSTRUCTION:

- A. THE EXISTING GRAVEL PARKING AREA LOCATED ON THE SOUTH SIDE OF THE PROPOSED BUILDING IS TO REMAIN AND BE USED FOR A CONSTRUCTION ENTRANCE PAD AND REMAIN AS LONG AS POSSIBLE THROUGHOUT SITE CONSTRUCTION.
- B. INSTALL GEOTEXTILE SILT FENCE AND/OR CONSTRUCTION FENCE. THE CONTRACTOR AND OWNER SHALL DETERMINE THE EXTENT OF THE TEMPORARY FENCING REQUIRED TO PROTECT THE WORK AREA OF PUBLIC ACCESS IN ACCORDANCE WITH THE STATE OF CONNECTICUT BUILDING CODE.
- C. CLEAR OUT ANY VEGETATION AND REMOVE FROM SITE.
- D. GRADE FOR SWALE PROPOSED ALONG THE NORTH SIDE OF THE PROPOSED BUILDING. INSTALL STORM PIPE WITHIN THE SWALE.
- E. EXCAVATE AND GRADE FOR BUILDING.
- F. POUR BUILDING FOUNDATION AND BUILDING WALLS.
- G. GRADE FOR AND INSTALL BIO-FILTER AND LEVEL SPREADER.
- H. INSTALL REMAINING STORM DRAINAGE STRUCTURES STORM PIPES AND OTHER UTILITIES.
- I. CONSTRUCT PAVEMENT AREAS AND OTHER SITE IMPROVEMENTS.
- J. LOAM AND SEED FOR PERMANENT COVER. IF PERMANENT COVER IS NOT DESIRABLE AT THE TIME OF SEEDING, USE TEMPORARY SEEDING COVER PER VEGETATIVE COVER SCHEDULE.
- K. THROUGHOUT CONSTRUCTION AND AT LEAST ONCE A WEEK, INSPECT MIRAFI FABRIC FENCE AND TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. MIRAFI FABRIC FENCE IS TO REMAIN IN PROPER WORKING ORDER UNTIL ALL VEGETATIVE COVER HAS BEEN ESTABLISHED. BEFORE REMOVAL OF ANY SILT FENCE, ACCUMULATED SILT AND SEDIMENT IS TO BE REMOVED AND DISPOSED OF PROPERLY. SEED ALL AREAS TO ESTABLISH VEGETATIVE COVER.
- L. THE OWNER OF THE PROPERTY AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.

GENERAL NOTES -

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
2. ALL SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
3. A STOCKPILE OF CRUSHED STONE, GEOTEXTILE FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
4. MIRAFI FABRIC FENCE SHALL BE KEPT ON-SITE IN THE EVENT OF AN EMERGENCY OR TOWN REQUEST FOR ADDITIONAL EROSION PROTECTION DURING CONSTRUCTION.
5. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS OF ANY DEBRIS AND SEDIMENTS FROM THE CONSTRUCTION ACTIVITIES.
7. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL. IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE FENCE.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", PREPARED BY THE CONNECTICUT DEP.
9. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
10. ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF WINDSOR'S "STORMWATER MANAGEMENT ORDINANCE".
11. THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF EMERGENCY EROSION OR SEDIMENTATION FAILURE.
12. AFTER A RAIN STORM, HAY BALES, MIRAFI FABRIC FENCE AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
13. NO STUMPS SHALL BE BURIED ON THE SUBJECT PROPERTY.
14. WHEN ACTIVITIES HAVE STOPPED, DISTURBED AREAS MUST BE SEEDED WITH PERENNIAL RYE GRASS OR SIMILAR GROUND COVER.

Sheet NOTES-1

| | | | |
|---|----------|---|----------------------|
| TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. | | L.S. NO. 9344 | |
| | | | |
| | | CIVIL ENGINEERS 200 PIGEON HILL ROAD WINDSOR, CT 06095 (860) 688-7288 WILSON M. ALFORD, JR., P.E. & L.S. LICENSE #2344 | |
| DATE | REVISION | SCALE: 1 IN. = 30 FT. | DATE: SEPT. 25, 2023 |
| | | | |
| PROPOSED SELF STORAGE BUILDING NOTES AND DETAILS PREPARED FOR STORAGE RENTALS OF AMERICA IMPROVEMENT LOCATION SURVEY 610 PIGEON HILL ROAD WINDSOR, CONNECTICUT | | | |

