

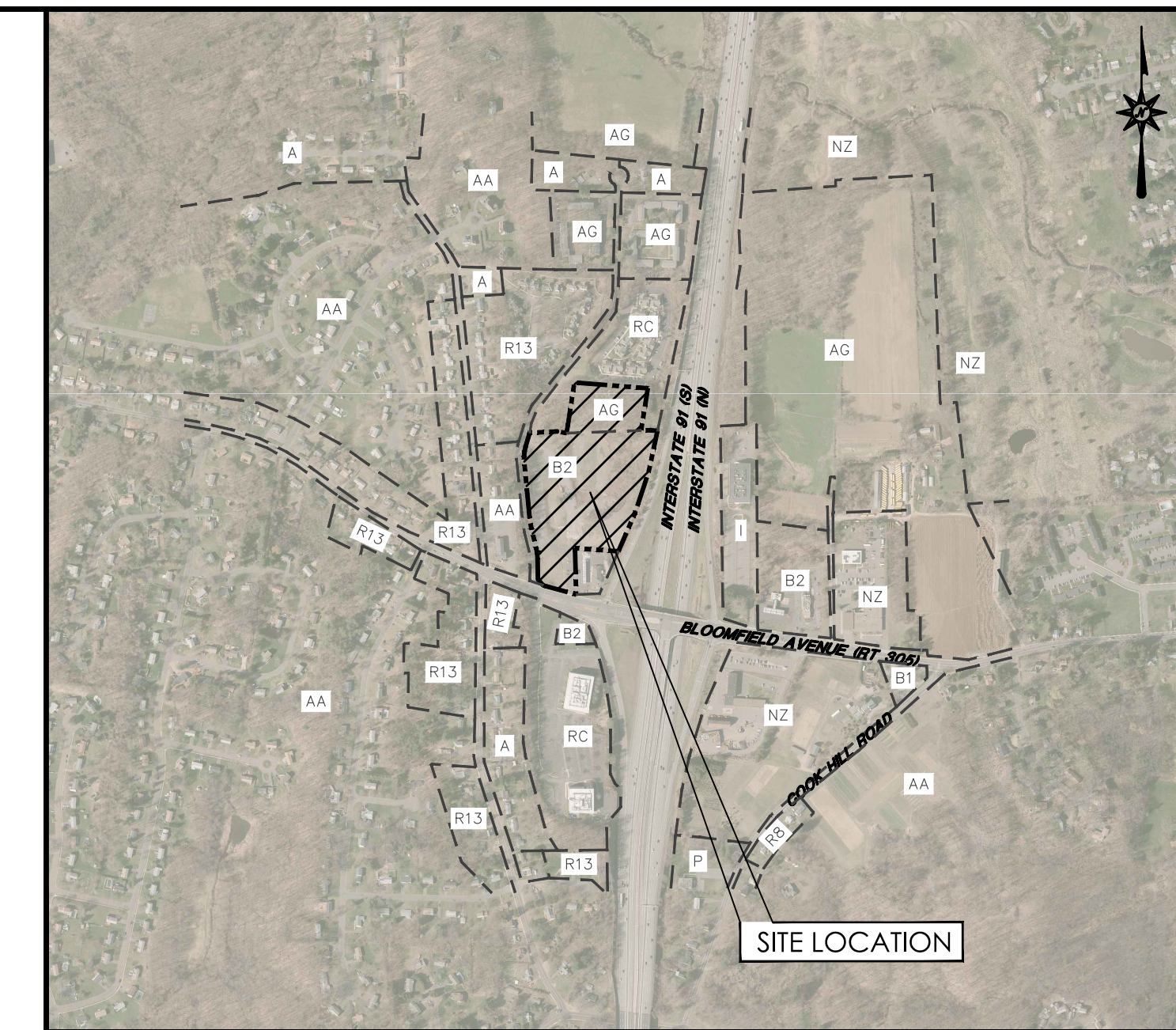
LOCATION MAP
N.T.S.

MULTI-FAMILY RESIDENTIAL DESIGN DEVELOPMENT CONCEPT PLAN PROPOSAL ISSUED FOR LOCAL LAND DEVELOPMENT PERMITTING

**450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT 06095**

PREPARED FOR:

A.R. BUILDING COMPANY, INC.
310 SEVEN FIELDS BOULEVARD
SEVEN FIELDS, PA 16046



VICINITY MAP
SCALE: 1"=800'

CONTENTS

	TITLE SHEET
AL-1 (SHEET 1)	ALTA/NSPS LAND TITLE SURVEY
AL-1 (SHEET 2)	ALTA/NSPS LAND TITLE SURVEY
SP-1	CONCEPT SITE PLAN
GD-1	CONCEPT GRADING AND DRAINAGE PLAN
LL-1	CONCEPT LANDSCAPE PLAN

PREPARED BY:



355 RESEARCH PARKWAY
MERIDEN, CONNECTICUT 06450
(203) 630-1406
(203) 630-2615 Fax

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

DEVELOPER:
A.R. BUILDING COMPANY, INC.
310 SEVEN FIELDS BOULEVARD
SEVEN FIELDS, PA 16046

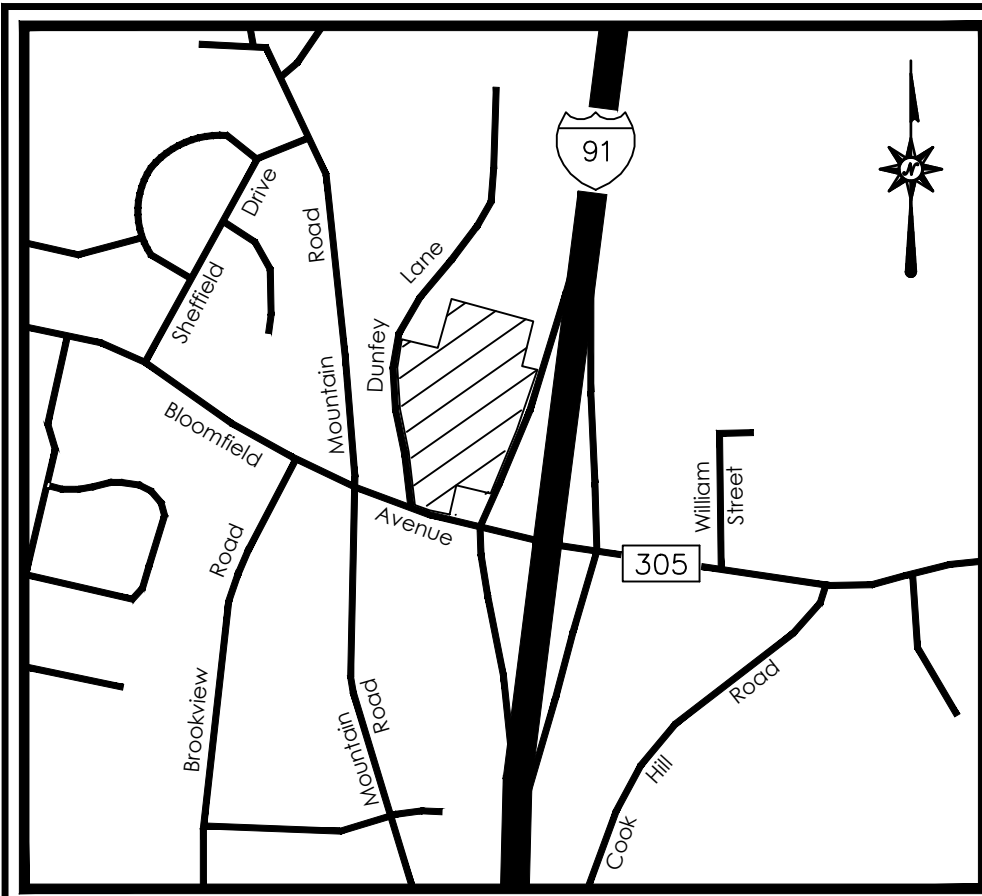
OWNER:
CICERO JOSEPH JR ET AL TIC
198 PLEASANT ST
WINDSOR, CT 06095

SUBCONSULTANTS:

REMA ECOLOGICAL SERVICES, LLC - SOIL SCIENTIST
CLARENCE WELTI ASSOCIATES, INC - GEOTECHNICAL ENGINEER

DATES

ISSUE DATE: NOVEMBER 8, 2023
REVISION: NOVEMBER 22, 2023



LOCATION MAP
NOT TO SCALE

LEGEND	
	Property Line
	Easement Line
	Setback Line
	Edge of Water
	Limit of Wetlands
	Wetlands/Marsh
	Treeline
	Brushline
	Major Contour
	Minor Contour
	Fence
	Overhead Wires
	Gas Line
	Sanitary Sewer
	Storm Sewer
	Underground Telecommunications Line
	Water Line
	Handhole
	Electric Meter
	Utility Pole
	Utility Pole w/ Light
	Light Pole
	Flood Light
	Gas Valve
	Cleanout
	Catch Basin
	Manhole
	Span Pole
	Fire Hydrant
	Water Valve
	Sign
	Ballard
	Deciduous Tree
	Coniferous Tree

PARCEL DATA CHART

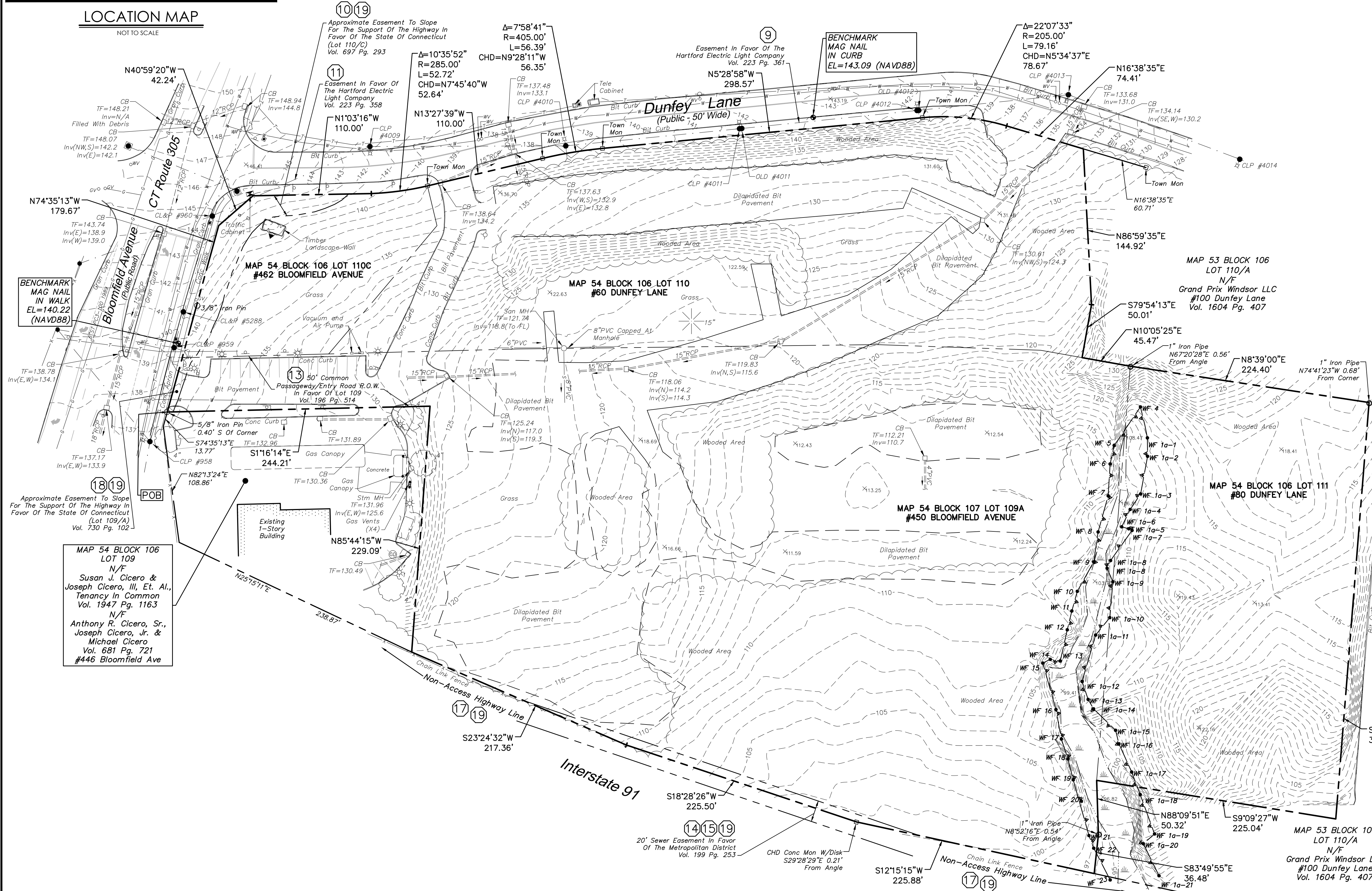
MAP BLOCK LOT	OWNER	ADDRESS	VOL./PG.	AREA SQUARE FEET	ACRES
54 107 109A	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	450 BLOOMFIELD AVENUE	1947/1163	270,302	6.21
54 106 110	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	60 DUNFEY LANE	1947/1163	122,841	2.82
54 106 110C	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	462 BLOOMFIELD AVENUE	1947/1163	25,850	0.59
54 106 111	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	80 DUNFEY LANE	1947/1163	86,740	1.99
	TOTAL AREA			505,733	11.61

GENERAL NOTES

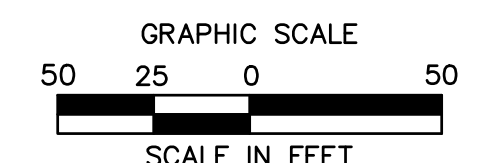
- THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- THE TYPE OF SURVEY PERFORMED IS A ALTA/NSPS LAND TITLE SURVEY AND IS INTENDED TO DEFINE THE BOUNDARY AND EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES DURING MAY, 2023 UTILIZING THE SMARTNET NORTH AMERICA RTK NETWORK.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING GEOID 18 AND IS BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES IN MAY, 2023 UTILIZING THE SMARTNET NORTH AMERICA RTK NETWORK.
- PARCEL IS LOCATED IN A OTHER AREAS "ZONE X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. MAP NUMBER 09003C0356F; PANEL 356 OF 675. EFFECTIVE DATE: SEPTEMBER 26, 2008.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE. ZONING INFORMATION WAS DERIVED FROM THE TOWN OF WINDSOR PLANNING AND ZONING WEBSITE AS PUBLISHED ON 6/5/2023.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE MADE AVAILABLE TO THE SURVEYOR. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- WETLAND FLAG DELINEATION BY REMA ECOLOGICAL SERVICES, LLC IN MAY AND JULY, 2023 AND FIELD LOCATED BY BL COMPANIES IN MAY AND JULY, 2023.

MAP REFERENCES

- "PROPERTY SURVEY LOT LONE RECONFIGURATION PLAN PREPARED FOR JOSEPH CICERO, ET AL., BLOOMFIELD AVENUE & DUNFEY LANE WINDSOR, CONNECTICUT", SCALE 1"=50', DATED 8/7/1989, REVISED 7/36/2006, 12/28/2009. JOB NO. 06156. SHEET NO. 1 OF 1, PREPARED BY F.A. HESKETH & ASSOCIATES, INC., EAST GRANBY, CONNECTICUT AND FILED AS MAP 5665 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "SURVEY MAP SHOWING PARCELS 'A', 'B', 'C', 'D', 'E' & 'F' WINDSOR, CONN.", SCALE 1"=40', DATED 8/7/1989, DRAWING NO. 1025. PREPARED BY IGOR V. BLOKHOFF, PROFESSIONAL ENGINEER & LAND SURVEYOR, HARTFORD, CONNECTICUT AND FILED AS MAP 6-1041 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND & RIGHTS OF ACCESS ACQUIRED FROM ROSE M. CICERO BY THE STATE OF CONNECTICUT HARTFORD - SPRINGFIELD EXPRESSWAY", SCALE 1"=40', DATED 12/19/92, SHEET 1 OF 1. FILED AS MAP 4215 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "LAND OF ROSE M. CICERO ENTRY ROAD R.O.W. PARCEL A&B BLOOMFIELD AVENUE WINDSOR, CONN.", SCALE 1"=60', DATED 5/18/1961, SHEET NO. 1. PREPARED BY ALBERT KENIG CONSULTING ENGINEER, WEST HARTFORD, CONNECTICUT AND FILED AS MAP 3-595 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "RIGHT-OF-WAY AND ASSESSMENT PLAN FOR PROPOSED SANITARY SEWER IN A PORTION OF BLOOMFIELD AVE. & PRIVATE LANDS WEST OF I-91 WINDSOR", SCALE 1"=100', DATED 6/19/67, PREPARED BY THE METROPOLITAN DISTRICT BUREAU OF PUBLIC WORKS, HARTFORD, CONNECTICUT AND FILED AS MAP 1-184 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "DUNFEY LANE WINDSOR CONN.", SCALE 1"=80', DATED 1970, SHEET NO. 1 OF 8. FILED AS MAP 1-147 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM JOSEPH CICERO JR. ET AL. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91 (LIMITED ACCESS HIGHWAY)", SCALE 1"=40', DATED 7/1988, REVISED 1/9/1989, SHEET 1 OF 1. FILED AS MAP 2999 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM JOSEPH CICERO JR. ET AL. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91 (LIMITED ACCESS HIGHWAY)", SCALE 1"=40', DATED 11/20/1987, REVISED 12/11/1987, 1/13/1988, SHEET 1 OF 1. FILED AS MAP 3000 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM DUNFEY - LANE CORPORATION BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91", SCALE 1"=40', DATED 11/20/1987, REVISED 11/30/1987, SHEET 1 OF 1. FILED AS MAP 3536 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "MAP SHOWING PROPERTY OF ROSE M. CICERO WITH THE LOCATION OF THE MUTUAL ENTRY ROAD, BLOOMFIELD AVENUE WINDSOR, CONN.", SCALE 1"=160', DATED 12/9/1960, REVISED 12/13/1960, DRAWING NO. 1-41A, PREPARED BY ALBERT KENIG CIVIL ENGINEER, HARTFORD, CONNECTICUT AND FILED AS MAP 3-571 IN THE TOWN OF WINDSOR CLERKS OFFICE.



TITLE COMMITMENT INFORMATION
AND PERIMETER LEGAL DESCRIPTION,
SEE SHEET 2 OF 2



SURVEY CERTIFICATION

TO FIRST AMERICAN TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-11(c), 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 6/5/2023.

DATED: _____ SIGNED: _____
JENNIFER MARKS L.S. #17939



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax

LAND OF
**SUSAN J. CICERO & JOSEPH CICERO III, ET. AL.,
TENANCY IN COMMON**
60, 80 DUNFEY LANE & 450, 462 BLOOMFIELD AVENUE
WINDSOR, CONNECTICUT

REVISENS	No.	Date
Surveyed	JW	
Drawn	JW	
Reviewed	JM	
Scale	1"=50'	
Project No.	2300910	
Date	06/14/2023	
Field Book	570	
CAD File:	AL230091001	

Title
ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 1 of 2

AL-1

FIRST AMERICAN TITLE INSURANCE COMPANY,
SCHEDULE B, SECTION II:

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
AS TO 462 BLOOMFIELD AVENUE			
9	V 223 P 361	EASEMENT IN FAVOR OF THE HARTFORD ELECTRIC COMPANY.	PLOTTED DOES NOT AFFECT
10	V 697 P 293	SLOPE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
AS TO 60 DUNFEY LANE			
11	V 223 P 358	EASEMENT IN FAVOR OF THE HARTFORD ELECTRIC COMPANY.	PLOTTED
AS TO 450 BLOOMFIELD AVENUE			
12	V 146 P 193 V 160 P 3	RESERVATIONS AND WAIVED AND RELINQUISHED RIGHTS IN FAVOR OF THE STATE OF CONNECTICUT. (PREVIOUS ROW, REVISED PER EXCEPTION 17)	DOES NOT AFFECT
13	V 196 P 514	RESERVATION OF RIGHT OF WAY OVER 50 FEET "COMMON PASSAGEWAY/ENTRY ROAD".	PLOTTED
14	V 199 P 253	RIGHTS AND RESTRICTIONS IN FAVOR OF THE METROPOLITAN DISTRICT.	PLOTTED
15	V 211 P 401	CERTIFICATE OF CERTAIN RIGHTS IN FAVOR OF THE METROPOLITAN DISTRICT. (REFERS TO EASEMENT IN EXCEPTION 14)	PLOTTED
16	V 665 P 213	VARIANCE FOR SIGN SIZE.	NOT PLOTTABLE
17	V 694 P 8	DENIED ACCESS RIGHTS IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
18	V 730 P 102	SLOPE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
AS TO 80 DUNFEY LANE			
NOTE	PARCEL WOULD APPEAR TO BE LANDLOCKED, SEARCHER FOUND NO RECORD EASEMENTS OR RIGHTS OF WAY FOR ACCESS TO PROPERTY.		
AS TO ALL			
19	N/A	NOTES, EASEMENTS, CONDITIONS AND INFORMATION AS SHOW ON SAID MAPS.	PLOTTED
20	V 1124 P 528	SPECIAL USE GRANTED REQUIRING PARKING OTHERWISE PROHIBITED, PARKING IN FRONT OF RETAIL, AFFECTS LOTS 109A, 110, 110C, 111 & 112.	NOT PLOTTABLE
21	V 1792 P 253	TERMS AND CONDITIONS AS SET FORTH IN THE NON-COMPETITION AGREEMENT, AFFECTS TYPE OF BUSINESS ALLOWED TO BE PLACED ONTO LOTS 109A, 110C & 110.	NOT PLOTTABLE

REFERENCE: FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT 6374882,
COMMITMENT DATE: APRIL 7, 2023.

ZONING INFORMATION

LOCATION: BLOOMFIELD AVENUE & DUNFEY LANE, WINDSOR, CONNECTICUT		
ZONE: B-2 (BUSINESS ZONE)		
USE: MULTI-FAMILY RESIDENTIAL (NOT PERMITTED)		
ITEM #	ITEM	REQUIREMENTS
1	MINIMUM LOT AREA	15,000 S.F.
2	MINIMUM LOT FRONTAGE	NONE REQUIRED
3	MINIMUM FRONT SETBACK	10 FEET
4	MINIMUM SIDE SETBACK	30 FEET IF ADJACENT TO ANY RESIDENTIAL, AG, OR NZ ZONE, OTHERWISE NONE REQUIRED.
5	MINIMUM REAR SETBACK	30 FEET
6	MAXIMUM BUILDING HEIGHT	45 FEET/ 3 STORIES
7	MAXIMUM BUILDING COVERAGE	33.3 PERCENT

PERIMETER LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND LOCATED ON THE NORTHERLY SIDE OF BLOOMFIELD AVENUE, CT. ROUTE 305, AND THE EASTERLY SIDE OF DUNFEY LANE, SITUATED IN THE TOWN OF WINDSOR, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, CONTAINING A TOTAL OF 505,733 SQUARE FEET OR 11.61 ACRES, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY LINE OF BLOOMFIELD AVENUE, CT. ROUTE 305, SAID POINT BEING THE DIVISION LINE OF LAND NOW OR FORMERLY SUSAN J. CICERO & JOSEPH CICERO, III, ET. AL. TENANCY IN COMMON, ASSESSORS LOT 109, AND THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;

THENCE ALONG SAID NORTHERLY LINE OF BLOOMFIELD AVENUE, CT. ROUTE 305 NORTH 74°35'13" WEST A DISTANCE OF 179.67 FEET TO A POINT;

THENCE ALONG THE EASTERLY LINE OF DUNFEY LANE THE FOLLOWING EIGHT (8) COURSES AND DISTANCES: NORTH 40°59'20" WEST A DISTANCE OF 42.24 FEET TO A POINT; NORTH 1°03'16" WEST A DISTANCE OF 110.00 FEET TO A POINT; ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 285.00 FEET, A DELTA ANGLE OF 10°35'52", AN ARC LENGTH OF 52.72 FEET AND A CHORD BEARING OF NORTH 7°45'40" WEST A CHORD DISTANCE OF 52.64 FEET TO A TOWN MONUMENT; NORTH 13°27'39" WEST A DISTANCE OF 110.00 FEET TO A TOWN MONUMENT; ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 405.00 FEET, A DELTA ANGLE OF 7°58'41", AN ARC LENGTH OF 56.39 FEET AND A CHORD BEARING OF NORTH 9°28'11" WEST A CHORD DISTANCE OF 56.35 FEET TO A TOWN MONUMENT; NORTH 5°28'58" WEST A DISTANCE OF 298.57 FEET TO A TOWN MONUMENT; ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 205.00 FEET, A DELTA ANGLE OF 22°07'33", AN ARC LENGTH OF 79.16 FEET AND A CHORD BEARING OF NORTH 5°34'37" EAST A CHORD DISTANCE OF 78.67 FEET TO A POINT; NORTH 16°38'35" EAST A DISTANCE OF 74.41 FEET TO A POINT;

THENCE ALONG LAND NOW OR FORMERLY GRAND PRIX WINDSOR LLC THE FOLLOWING EIGHT (8) COURSES AND DISTANCES: NORTH 86°59'35" EAST A DISTANCE OF 144.92 FEET TO A POINT; SOUTH 79°54'13" EAST A DISTANCE OF 50.01 FEET TO A POINT; NORTH 10°05'25" EAST A DISTANCE OF 45.47 FEET TO A POINT; NORTH 8°39'00" EAST A DISTANCE OF 244.40 FEET TO A POINT; SOUTH 85°26'04" EAST A DISTANCE OF 388.10 FEET TO A POINT; SOUTH 9°09'27" WEST A DISTANCE OF 225.04 FEET TO A POINT; NORTH 88°09'51" EAST A DISTANCE OF 50.32 FEET TO A POINT; SOUTH 83°49'55" EAST A DISTANCE OF 36.48 FEET TO A POINT;

THENCE ALONG THE WESTERLY LINE OF LAND NOW OR FORMERLY STATE OF CONNECTICUT, INTERSTATE 91, THE FOLLOWING THREE (3) COURSES AND DISTANCES: SOUTH 12°15'15" WEST A DISTANCE OF 225.88 FEET TO A POINT; SOUTH 18°28'26" WEST A DISTANCE OF 225.50 FEET TO A POINT; SOUTH 23°24'32" WEST A DISTANCE OF 217.36 FEET TO A POINT;

THENCE ALONG SAID LAND OF SUSAN J. CICERO & JOSEPH CICERO, III, ET. AL. TENANCY IN COMMON, ASSESSORS LOT 109, NORTH 85°44'15" WEST A DISTANCE OF 228.09 FEET TO A POINT; SOUTH 1°16'14" EAST A DISTANCE OF 244.21 FEET TO THE POINT AND PLACE OF BEGINNING.

ALSO BEING KNOWN AS 450 & 462 BLOOMFIELD AVENUE AND 60 & 80 DUNFEY LANE, WINDSOR, CONNECTICUT.

SURVEY PLAN, GENERAL
NOTES AND CERTIFICATION,
SEE SHEET 1 OF 2



355 Research Parkway
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SUSAN J. CICERO & JOSEPH CICERO III, ET. AL.,
TENANCY IN COMMON
 60, 80 DUNFEY LANE & 450, 462 BLOOMFIELD AVENUE
 WINDSOR, CONNECTICUT

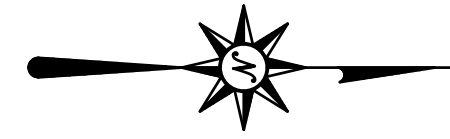
REVISIONS
No. Date Desc.

Surveyed JW
 Drawn JW
 Reviewed JM
 Scale 1"=50'
 Project No. 2300910
 Date 06/14/2023
 Field Book 570
 CAD File: AL230091001

Title
ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 1 of 2

AL-1



GRADING AND DRAINAGE LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
- EXISTING WETLAND
- 100' WETLAND BUFFER
- SAWCUT LINE
- PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
- PROVIDE AND INSTALL STORM PIPE
- PROPOSED ELEVATION CONTOUR (1' INTERVAL)
- EXISTING ELEVATION CONTOUR (1' INTERVAL)
- PROVIDE AND INSTALL CURBLESS TYPE CATCH BASIN (TYPE C-L)
- PROVIDE AND INSTALL CURB TYPE CATCH BASIN (TYPE C)
- PROVIDE AND INSTALL DRAIN
- PROVIDE AND INSTALL DRAINAGE MANHOLE
- PROPOSED SPOT GRADE
- SPOT GRADE ABBREVIATIONS
- BC BOTTOM OF CURB
- TC TOP OF CURB
- BS BOTTOM OF STEP
- TS TOP OF STEP
- BL BOTTOM OF LIP
- TL TOP OF LIP
- BW BOTTOM OF WALL
- TW TOP OF WALL
- MEX MEET EXISTING CONDITION
- PROVIDE AND INSTALL RIPRAP



355 Research Parkway
Meriden, CT 06450
(203) 630-1406

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

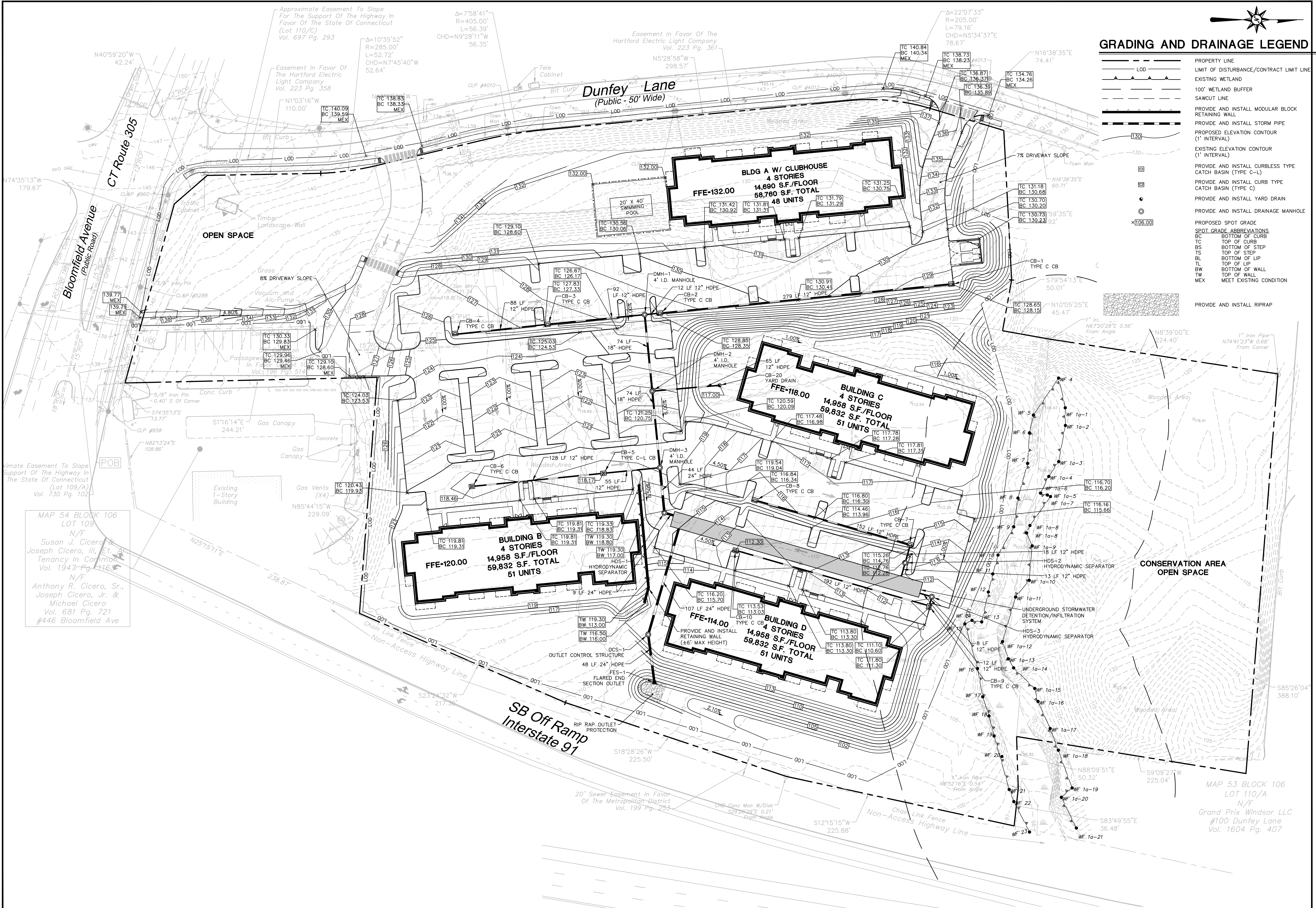
REVISIONS	Desc.
No. 1	Date 11/22/2023 ADDED DUNFEY LANE DRIVEWAY & SIDEWALK

Designed C.J.L.
Drawn C.J.L.
Reviewed
Scale 1"=40'
Project No. 2300910
Date 11/08/2023
CAD File: GD230091001

CONCEPT GRADING AND DRAINAGE PLAN

Sheet No.

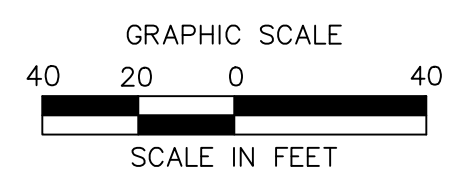
GD-1



MAP 54 BLOCK 106
LOT 109
N/F
Susan J. Cicero &
Joseph Cicero, III, ET AL
Tenancy In Common
Vol. 1947 Pg. 116
N/F
Anthony R. Cicero, Sr.,
Joseph Cicero, Jr. &
Michael Cicero
Vol. 681 Pg. 721
#446 Bloomfield Ave

MAP 53 BLOCK 106
LOT 110/A
N/F
Grand Prix Windsor LLC
#100 Dunfey Lane
Vol. 1604 Pg. 407

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

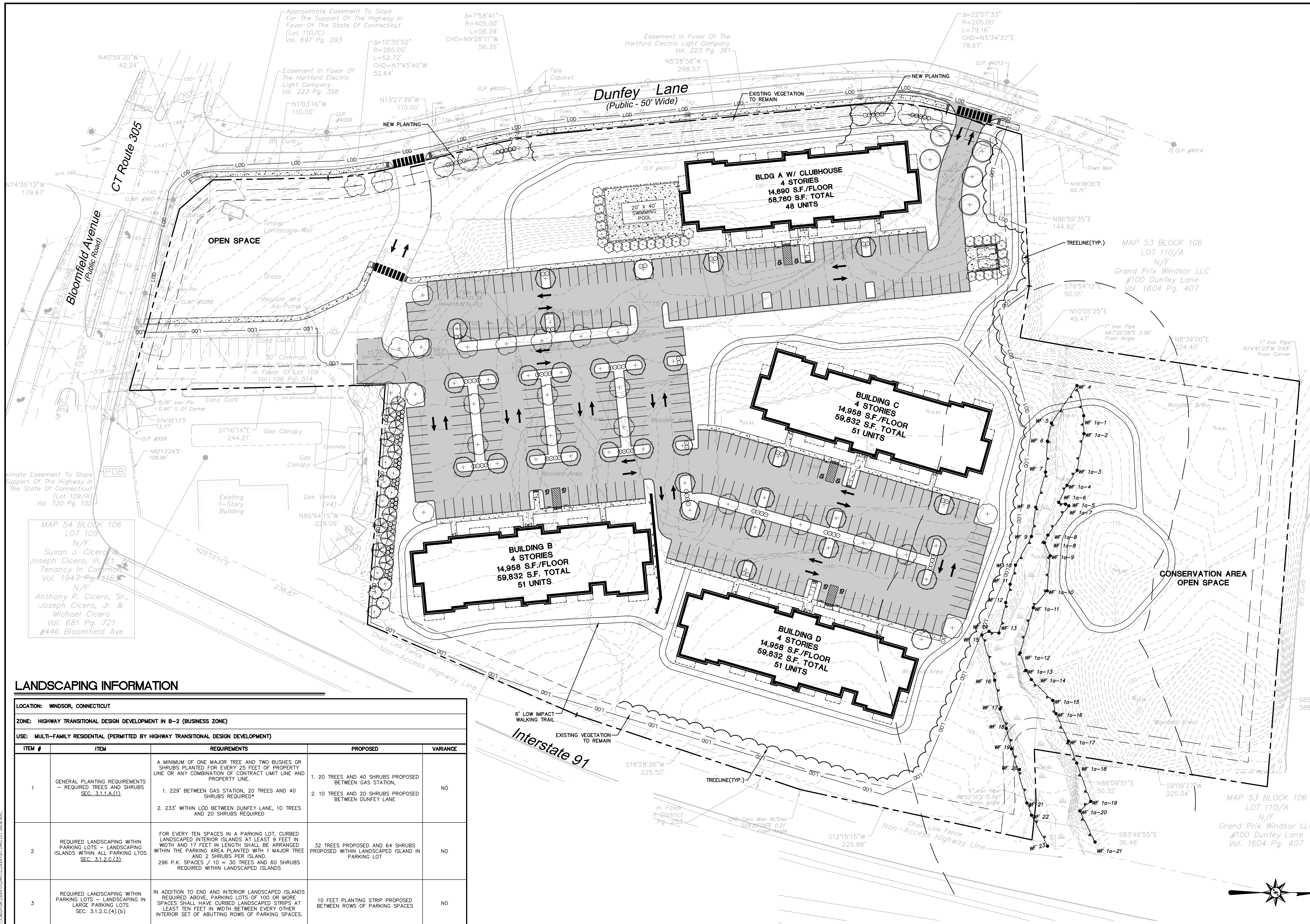
REVISIONS
No. 1, 11/22/2023
Desc. ADDED DUNFEY LANE DRIVEWAY & SIDEWALK

Designed N.Y.Y.
Drawn N.Y.Y.
Reviewed J.C.W.
Scale 1"=40'
Project No. 2300910
Date 11/08/2023
CAD File: LL230091001

**CONCEPT
LANDSCAPE
PLAN**

Sheet No.

LL-1



LANDSCAPING INFORMATION

LOCATION: WINDSOR, CONNECTICUT				
ZONE: HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT IN B-2 (BUSINESS ZONE)				
USE: MULTI-FAMILY RESIDENTIAL (PERMITTED BY HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	GENERAL PLANTING REQUIREMENTS - REQUIRED TREES AND SHRUBS SEC. 3.1.1.A.(1)	A MINIMUM OF ONE MAJOR TREE AND TWO BUSHES OR SHRUBS PLANTED FOR EVERY 25 FEET OF PROPERTY LINE OR ANY COMBINATION OF CONTRACT LIMIT LINE AND PROPERTY LINE. 1. 229' BETWEEN GAS STATION, 20 TREES AND 40 SHRUBS REQUIRED* 2. 233' WITHIN LOD BETWEEN DUNFEY LANE, 10 TREES AND 20 SHRUBS REQUIRED	1. 20 TREES AND 40 SHRUBS PROPOSED BETWEEN GAS STATION, 2. 10 TREES AND 20 SHRUBS PROPOSED BETWEEN DUNFEY LANE	NO
2	REQUIRED LANDSCAPING WITHIN PARKING LOTS - LANDSCAPING ISLANDS WITHIN ALL PARKING LOTS SEC. 3.1.2.C.(3)	FOR EVERY TEN SPACES IN A PARKING LOT, CURBED LANDSCAPED INTERIOR ISLANDS AT LEAST 9 FEET IN WIDTH AND 17 FEET IN LENGTH SHALL BE ARRANGED WITHIN THE PARKING AREA PLANTED WITH 1 MAJOR TREE AND 2 SHRUBS PER ISLAND. 296 P.K. SPACES / 10 = 30 TREES AND 60 SHRUBS REQUIRED WITHIN LANDSCAPED ISLANDS	32 TREES PROPOSED AND 64 SHRUBS PROPOSED WITHIN LANDSCAPED ISLAND IN PARKING LOT	NO
3	REQUIRED LANDSCAPING WITHIN LARGE PARKING LOTS - LANDSCAPING IN LARGE PARKING LOTS SEC. 3.1.2.C.(4)(b)	IN ADDITION TO END AND INTERIOR LANDSCAPED ISLANDS REQUIRED ABOVE, PARKING LOTS OF 100 OR MORE SPACES SHALL HAVE CURBED LANDSCAPED STRIPS AT LEAST TEN FEET IN WIDTH BETWEEN EVERY OTHER INTERIOR SET OF ABUTTING ROWS OF PARKING SPACES.	10 FEET PLANTING STRIP PROPOSED BETWEEN ROWS OF PARKING SPACES	NO

* PER SEC.3.1.1.A.(2) FOR DEVELOPMENT UNDER THIS SECTION THAT REQUIRE A BUFFER STRIP, THE NUMBER OF TREES AND SHRUBS REQUIRED SHALL BE DOUBLED ALONG ANY PROPERTY LINE OR CONTRACT LIMIT LINE ADJACENT TO A REQUIRED BUFFER STRIP.

**SEE SHEET LL-2 FOR
LANDSCAPE NOTES AND DETAILS**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

