

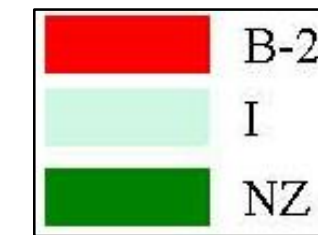
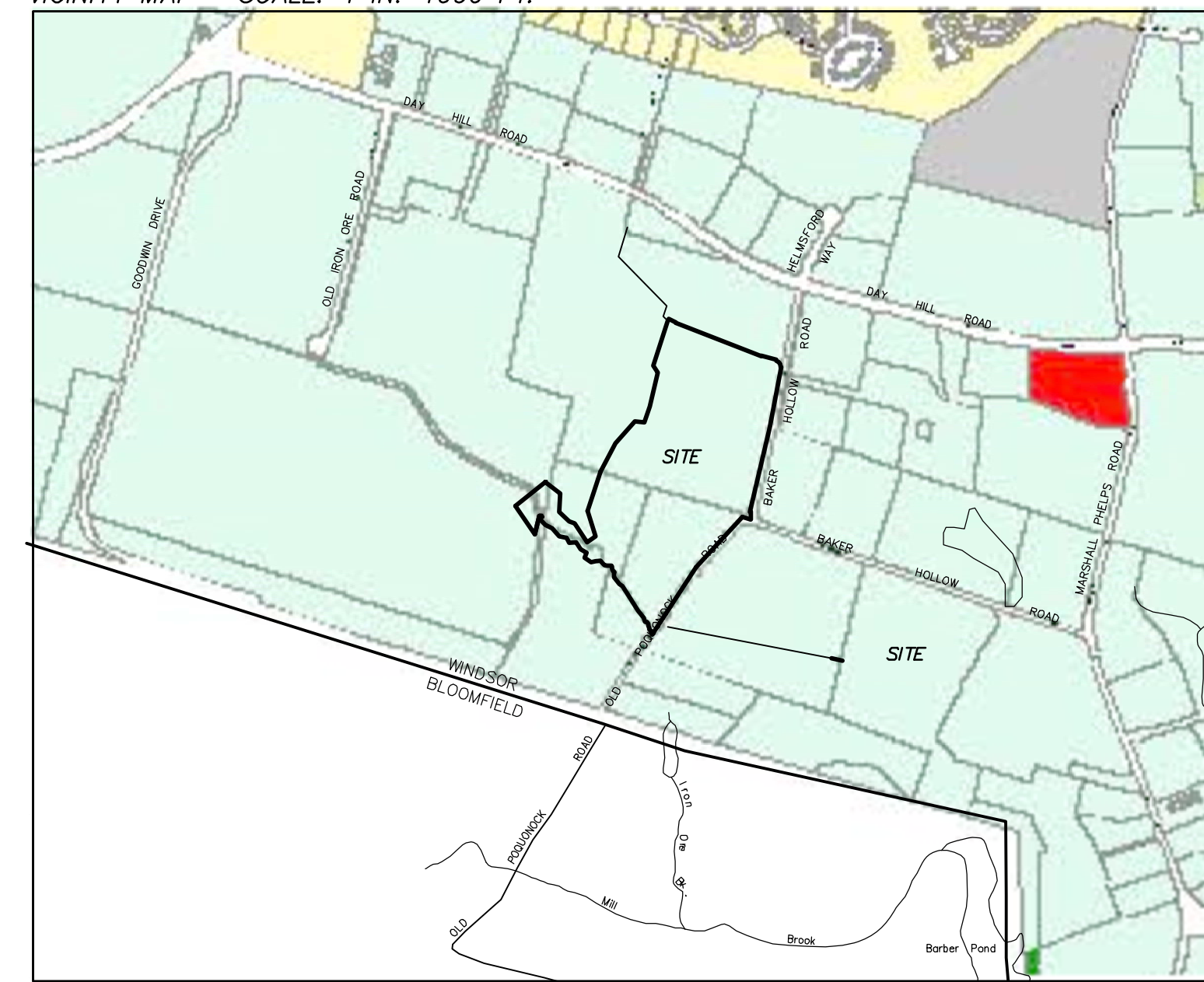
**PROJECT ANALYSIS –**

ZONE OF PROPERTY: Industrial Zone (I)  
 PROPOSED USE: DISTRIBUTION WAREHOUSE

§ 8.4.B AND 8.4.D MANUFACTURING & DISTRIBUTION WAREHOUSE ARE PERMITTED USES

§ 8.6.Y SPECIAL USE REQUIRED:  
 WAREHOUSING, WHOLESALING AND/OR DISTRIBUTION FOR PRODUCTS NOT PRODUCED ON THE PREMISES EXCEEDING THE CRITERIA FOUND IN SECTION 8.40(2)

VICINITY MAP SCALE: 1 IN.=1000 FT.



STANDARDS	REQUIRED / PERMITTED	PROVIDED	
		PROPOSED "55 BAKER HOLLOW ROAD" PARCEL	PROPOSED "141 OLD POQUONOCK ROAD" PARCEL
MINIMUM LOT AREA	2 ACRES	25.0+/- ACRES = 1,087,158± SQ.FT.	12.0+/- ACRES = 521,584+/- SQ.FT.
MAXIMUM LOT AREA (IF ANY)	N/A	N/A	N/A
MAXIMUM BUILDING AREA (BUILDING COVERAGE)	33-1/3% of the site	300,000 SQ. FT. (27.5% ± of the site)	120,000 SQ. FT. (23.0% ± of the site)
MAXIMUM BUILDING HEIGHT / NUMBER OF STORIES	60 FT. / 4 STORY	45 FT. / 1 STORY	45 FT. / 1 STORY
MINIMUM LOT WIDTH	180 FT.	1,054± FT.	920± FT.
MINIMUM FRONT YARD	50 FT.	186.7 FT.	53.5 FT.
MINIMUM REAR YARD	35 FT.	256 FT.	284 FT.
MINIMUM SIDE YARD	35 FT.	40 FT.	40 FT.
DISTANCE TO RAILROAD TRACKS (IF ANY)	150 FT	N/A	N/A
DISTANCE TO LIMITED ACCESS HIGHWAY PAVEMENT (IF ANY)	150 FT	N/A	N/A
DEPTH OF REQUIRED BUFFERS (IF ANY)	N/A	N/A	N/A
FLOOR AREA	N/A	N/A	N/A
MAXIMUM HEIGHT OF OUTDOOR LIGHTING FIXTURES	24 FT.	24 FT.	24 FT.
MAXIMUM IMPERVIOUS COVERAGE § 14.1.1b	50%	48.5% ±	48.5% ±
LOADING SPACES (IF ANY)	N/A	N/A	N/A

**PARKING SPACES**  
 § 3.3.5.G Minimum and Maximum Parking Ratios – Industrial and Warehouse Facilities

(2) Warehouse:

(a) one space per 1,000 square feet for the first 50,000 square feet of warehouse gross floor area; plus  
 (b) one space per 2,000 square feet of additional warehouse gross floor area.

Electric Vehicle Spaces  
 10% (Minimum) of total required spaces are required to be provided with an EV charging station of which 5% of those are required to be provided to accessible spaces

**REQUIRED:**

(a) 50 SPACES, PLUS  
 (b) 300,000 – 50,000 = 250,000 SQ. FT. / 2,000 = 125 SPACES  
**TOTAL=175 SPACE REQ'D**

**PROVIDED:**  
 175 SPACES (INCLUDES 6 ACCESSIBLE)

**REQUIRED EV SPACES:**  
 175 x 10% = 17.5 = 18 SPACES  
 18 x 5% = 0.9 OR 1 SPACE TO BE ACCESSIBLE

**PROVIDED:**  
 18 EV SPACES (INCLUDES 1 ACCESSIBLE SPACE)

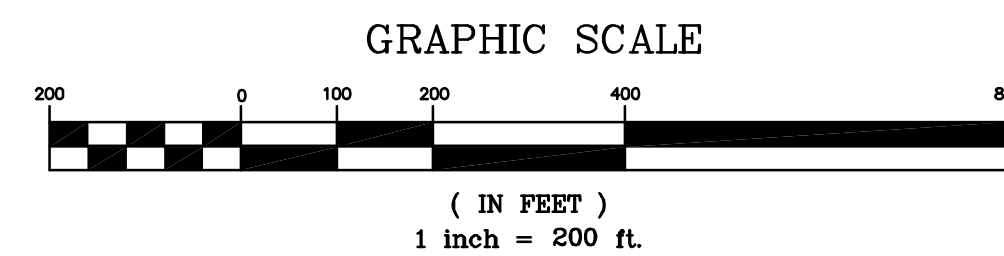
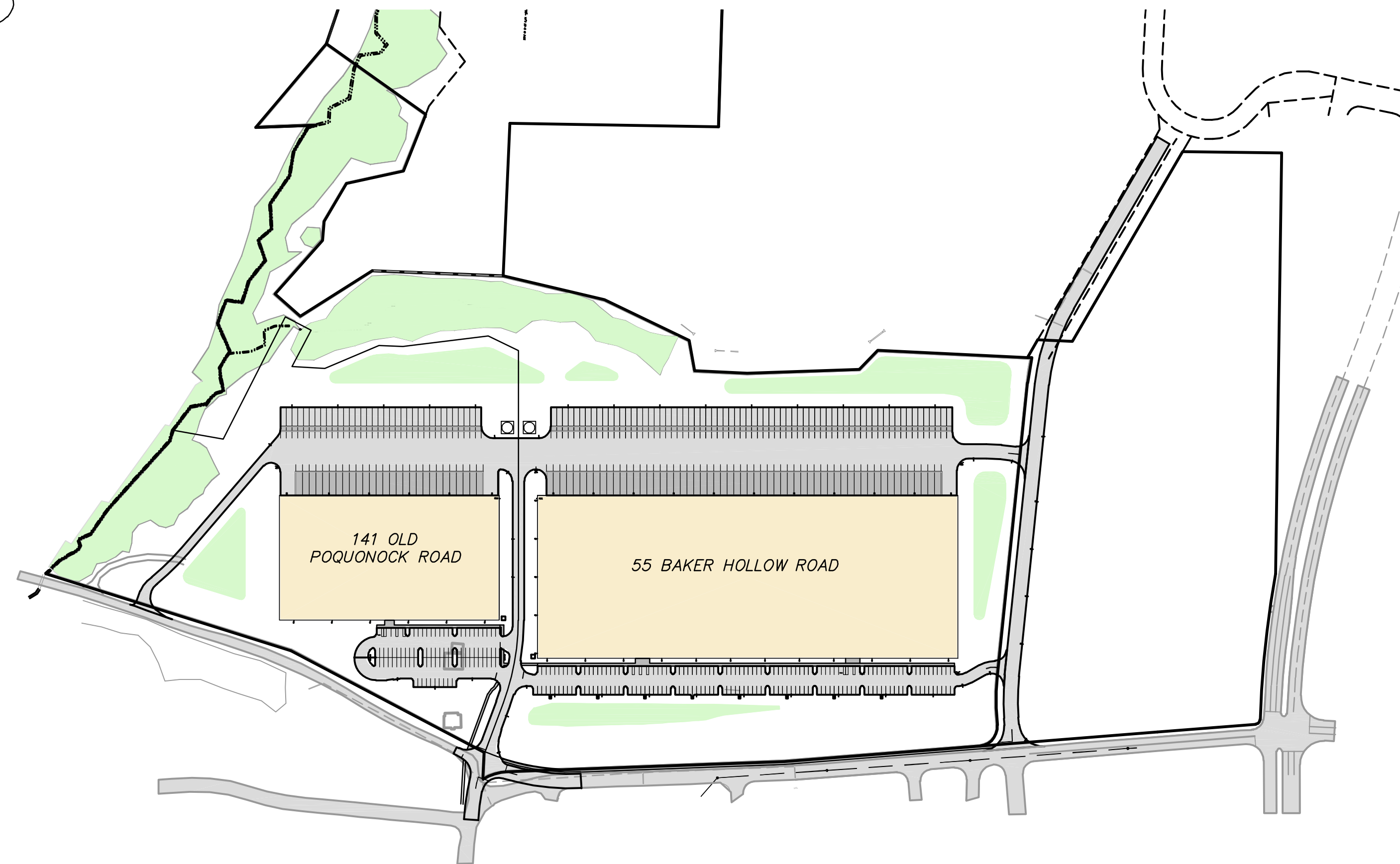
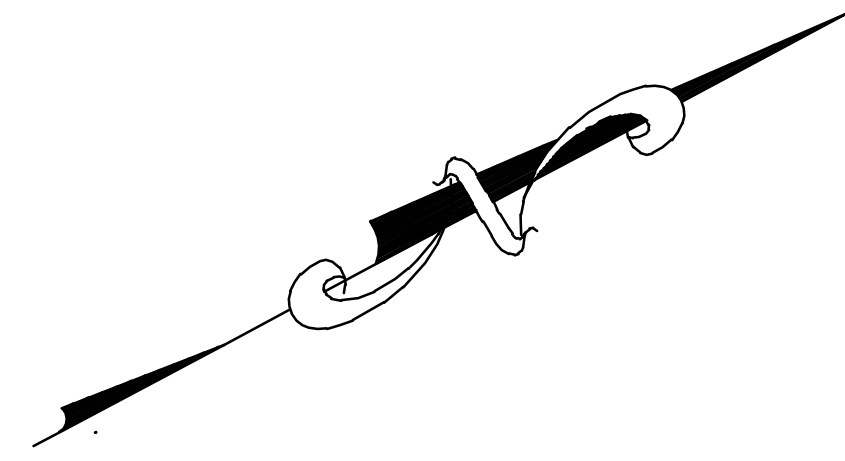
**REQUIRED:**

(a) 50 SPACES, PLUS  
 (b) 120,000 – 50,000 = 70,000 SQ. FT. / 2,000 = 35 SPACES  
**TOTAL=85 SPACE REQ'D**

**PROVIDED:**  
 88 SPACES (INCLUDES 4 ACCESSIBLE)

**REQUIRED EV SPACES:**  
 85 x 10% = 8.5 = 9 SPACES  
 9 x 5% = 0.5 OR 1 SPACE TO BE ACCESSIBLE

**PROVIDED:**  
 9 EV SPACES (INCLUDES 1 ACCESSIBLE SPACE)



SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER / PROJECT ANALYSIS	C1.0
EXISTING CONDITIONS SURVEY	C2.0 – C2.3
LAYOUT AND LANDSCAPING PLAN	C3.1 – C3.3
GRADING AND UTILITIES PLAN	C4.0 – C4.6
EROSION & SEDIMENTATION CONTROL PLAN	C5.0 – C5.2
NOTES AND DETAILS	C6.0 – C6.4
TURNING MOVEMENT PLAN	C7.0
SIGHT LIGHTING	SL-1
SUBDIVISION PLAN	1 OF 1

**OWNERS:**  
 "903 DAY HILL ROAD" PROPERTY–  
 TWO MILE ROAD REALTY ASSOCIATES, LLC  
 C/O MARK GREENBERG  
 184 FERN AVENUE  
 LITCHFIELD, CT 06759

"1001 DAY HILL ROAD" PROPERTY–  
 1001 DAY HILL ROAD, LLC  
 C/O MARK GREENBERG  
 184 FERN AVENUE  
 LITCHFIELD, CT 06759

"141 OLD POQUONOCKROAD" PROPERTY–  
 CRAIG A. LANDRY  
 31 SHARON DRIVE  
 TOLLAND, CT 06084

**DEVELOPER:**  
 CONDYNE CAPITAL PARTNERS, LLC  
 100 GRANDVIEW ROAD, SUITE 312  
 BRAINTREE, MA 02184

REVISION	DATE
ADD SHEET SL-1 – SITE LIGHTING PHOTOMETRIC CALCULATION	11-10-2023



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

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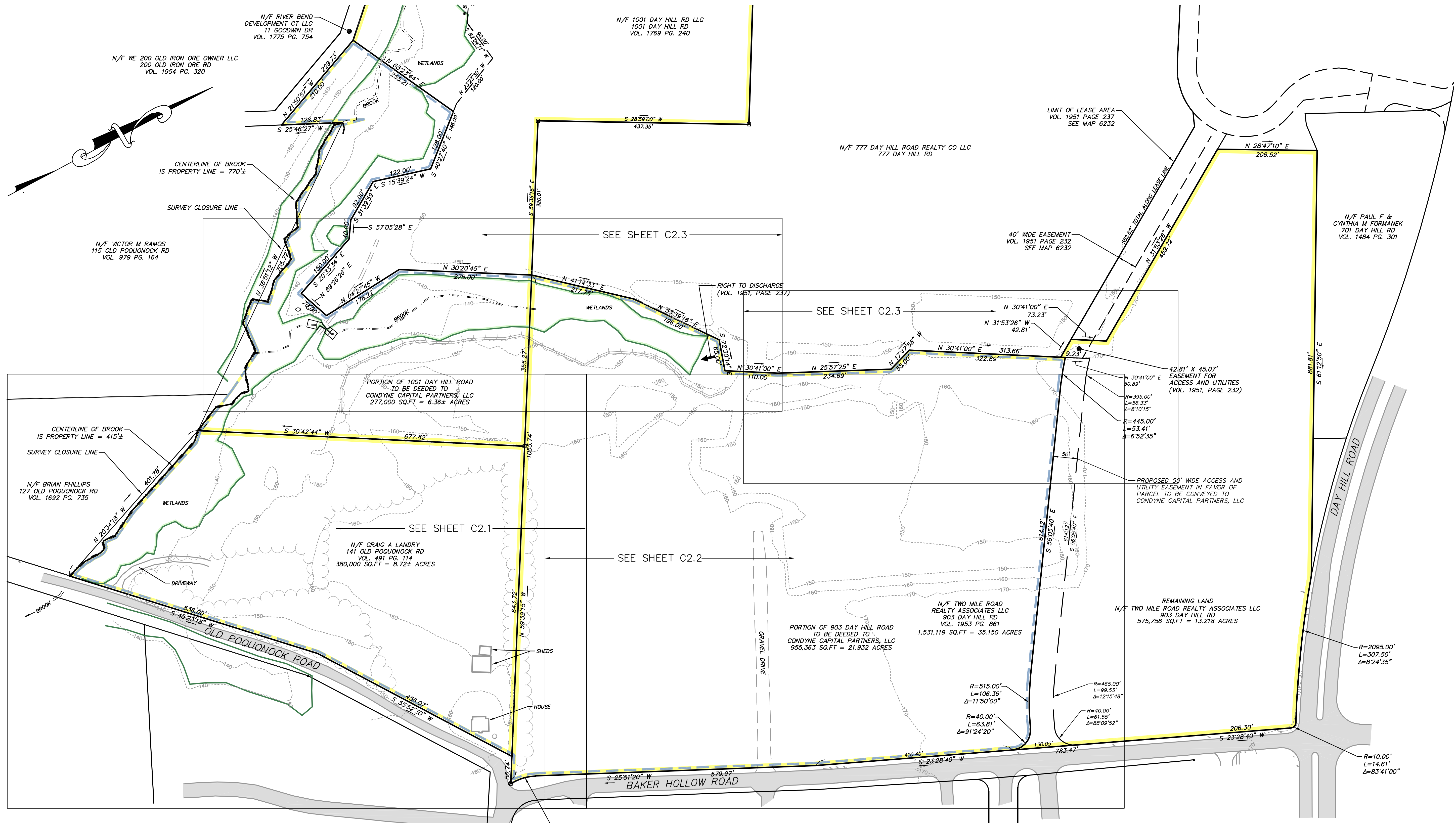
CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

SCALE: 1 IN. = 200 FT.

SITE PLAN PREPARED FOR  
**Condyne Capital Partners, LLC**  
 PROJECT ANALYSIS  
 WINDSOR, CONNECTICUT  
 55 BAKER HOLLOW ROAD  
 141 OLD POQUONOCK ROAD

Sheet  
**C1.0**



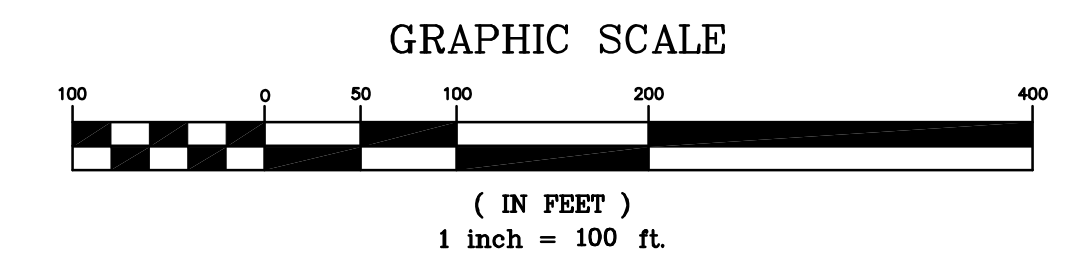
REFERENCE MAPS

1. "PROPERTY SURVEY PREPARED FOR 777 DAY HILL ROAD REALTY CO., LLC, 777 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JUNE 21, 2023, SCALE: 1 IN.=100 FT., ALFORD ASSOCIATES, INC." TOWN CLERK MAP 6242
2. "PLAN TO SHOW PARCELS 'C', 'D' AND '895 DAY HILL ROAD' PREPARED FOR 777 DAY HILL ROAD REALTY CO., LLC, 777 DAY HILL ROAD WINDSOR, CONNECTICUT, DATE: JULY 16, 2021, SCALE: 1 IN. = 120 FT., SHEETS 1 AND 2 OF 2, ALFORD ASSOCIATES, INC." TOWN CLERK MAPS 6150 AND 6152
3. "LEASE AREA PLAN SHOWING PROPOSED SOFTBALL FIELDS, PREPARED FOR 1001 DAY HILL ROAD LLC, 1001 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JULY 20, 2018, SCALE: 1 IN. = 120 FT., SHEET 1 OF 1, ALFORD ASSOCIATES, INC." TOWN CLERK MAP 6063
4. "LOT LINE REVISION PLAN PREPARED FOR INFINITY VII, LLC, 1045 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JULY 6, 2016, SCALE: 1 IN. = 120 FT., SHEET 2 OF 2, ALFORD ASSOCIATES, INC." TOWN CLERK MAP 5968
5. "SUBDIVISION PLAN, PROJECT FRANCISCO, 801 DAY HILL ROAD, MAP 34, BLOCK 133, LOT 1, WINDSOR, CONNECTICUT, DATE: SEPTEMBER 18, 2013, REVISED TO NOVEMBER 8, 2013, SHEET 1 OF 7, LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES" TOWN CLERK MAP 5871

6. "PROPERTY OF EDWARD A. PENDELTON, OLD POQUONOCK ROAD, WINDSOR, CONNECTICUT, DECEMBER, 1993, SCALE: 1"=50', SANDERSON & WASHBURN" TOWN CLERK MAP 4478
7. "PREPARED FOR G.J. THRALL, INC., BAKER HOLLOW ROAD AND MARSHALL PHELPS ROAD, WINDSOR, CONN., DATE: SEPT. 21, 1989, REVISED TO 11-6-89, SCALE: 1 IN. = 100 FT., ALFORD ASSOCIATES, INC." TOWN CLERK MAP 3613
8. "PROPERTY OF HUNTINGTON AND CLARK, SOUTH OF DAY HILL ROAD, WEST OF BAKER HOLLOW ROAD, WINDSOR, CONN., SCALE: 1 IN.=100 FT., DATE: JAN. 21, 1978, REVISION DATE 9/24/78, ALFORD ASSOCIATES" TOWN CLERK MAP 1661
9. "RIGHT OF WAY PLAN, BAKERS HOLLOW ROAD, TOWN OF WINDSOR, FROM MARSHALL PHELPS TO DAY HILL ROAD, SCALE: 1"=40', DATE: MARCH 1958, SHEET NO 2, W.M. ALFORD" TOWN CLERK MAP 40
10. "PROPERTY OF JOSEPH & GRACE CARVALHO, WEST SIDE - OLD POQUONOCK ROAD, WINDSOR, CONN., DATE: JUNE, 1964, SCALE: 1 IN.=40 FT., W.M. ALFORD, CIVIL ENGINEER"

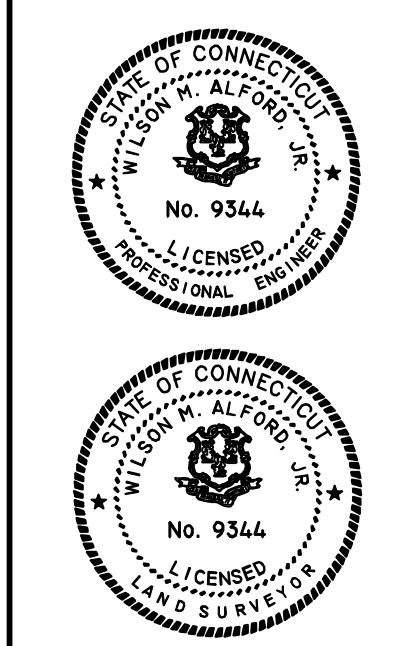
SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS T-2.
2. PARCEL AREA = 1,612,00± SQ.FT. = 37.0± ACRES.
3. VERTICAL DATUM IS NAVD88.
4. WETLANDS WERE DELINEATED BY REMA ECOLOGICAL SERVICES AND FIELD LOCATED BY ALFORD ASSOCIATES, INC.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

NO.	DATE	REVISION



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L.S. No. 9344

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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, R.P.E. & L.S.

DATE: OCTOBER 18, 2023

SCALE: 1 IN. = 100 FT.

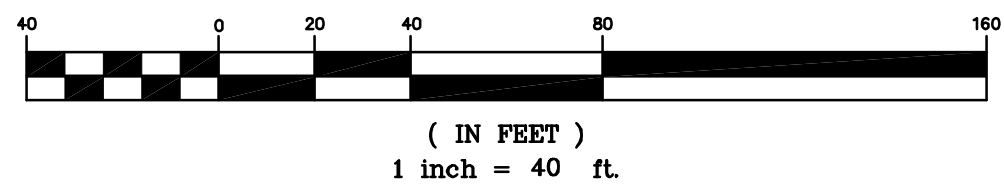
SITE PLAN  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
EXISTING CONDITIONS SURVEY  
WINDSOR, CONNECTICUT  
55 BAKER HOLLOW ROAD  
141 OLD POQUONOCK ROAD

Sheet  
**C2.0**



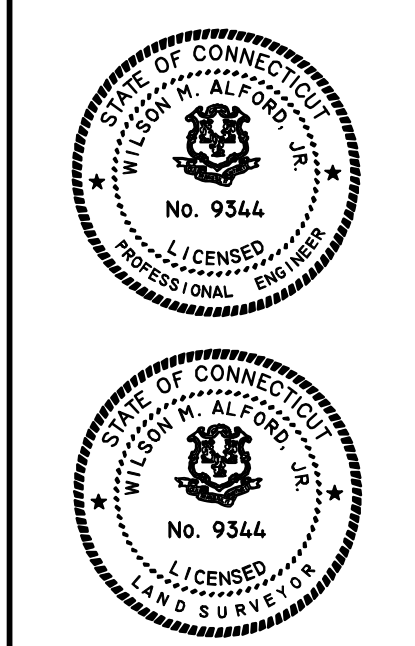
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- CB STORM CATCH BASIN
  - TF TOP OF FRAME
  - RCP CONCRETE PIPE
  - HDRP HDPE PLASTIC PIPE
  - CMP METAL PIPE
  - ★ LIGHT
  - SIGN
  - UTILITY POLE WITH GUY
  - WATER GATE
  - FIRE HYDRANT
  - CONCRETE MONUMENT
  - IRON PIN / PIPE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - SHRUB
  - SPOT ELEVATION
  - EXISTING CONTOUR
  - STORM DRAINAGE PIPE
  - SANITARY LATERAL
  - WATER PIPE
  - GAS PIPE
  - CHAIN LINK FENCE
  - WOOD FENCE
  - STONE WALL
  - LIMIT OF WOODED AREA
  - LIMIT OF WETLANDS
  - BITUMINOUS PAVEMENT

GRAPHIC SCALE



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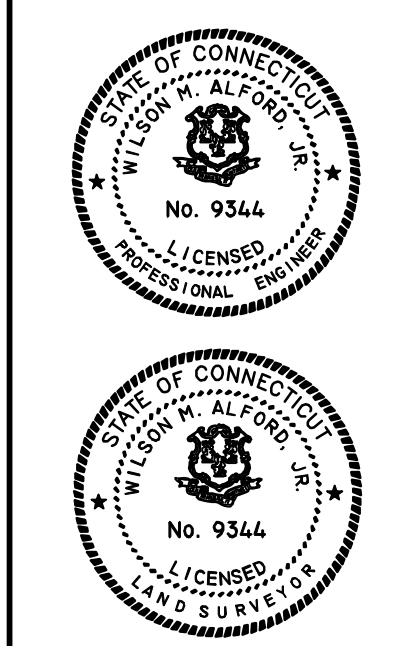
SCALE: 1 IN. = 40 FT.

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EXISTING CONDITIONS SURVEY  
55 BAKER HOLLOW ROAD  
141 OLD POQUONOCK ROAD  
WINDSOR, CONNECTICUT

Sheet  
C2.1



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WINDSOR, CONNECTICUT  
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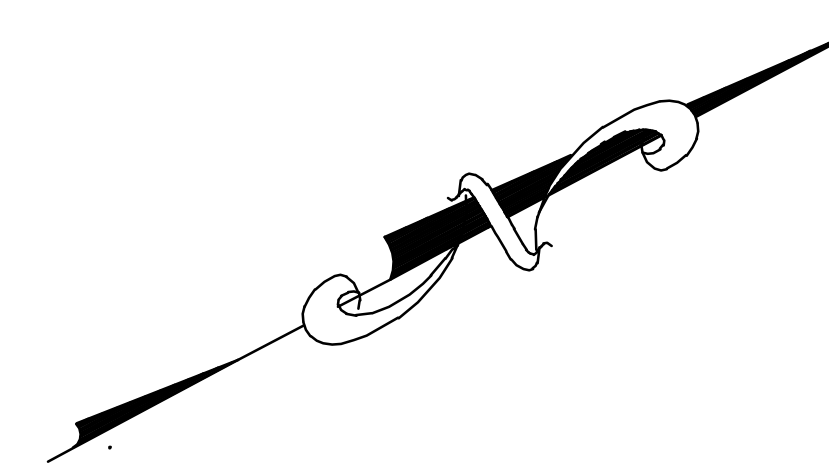
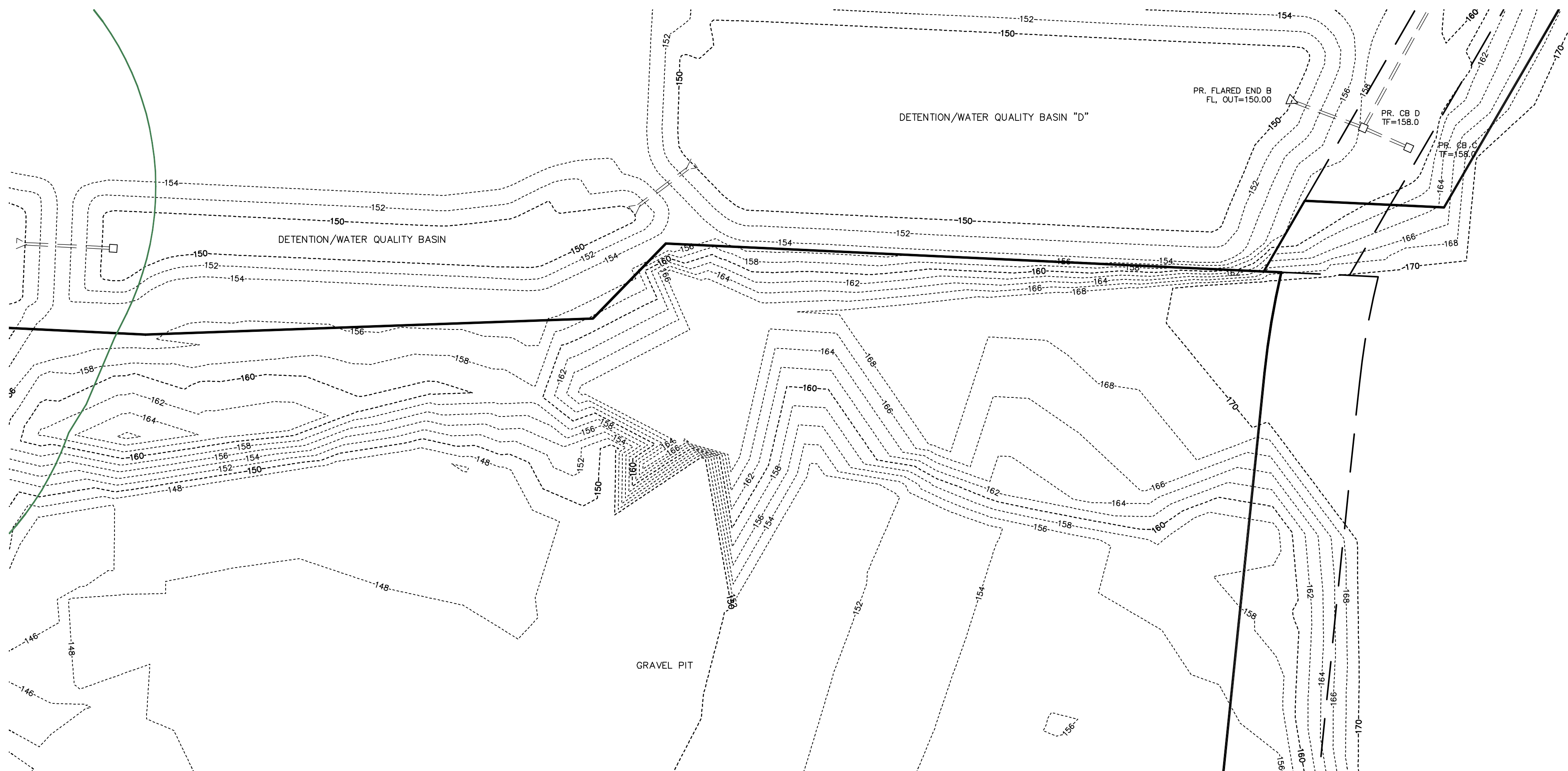
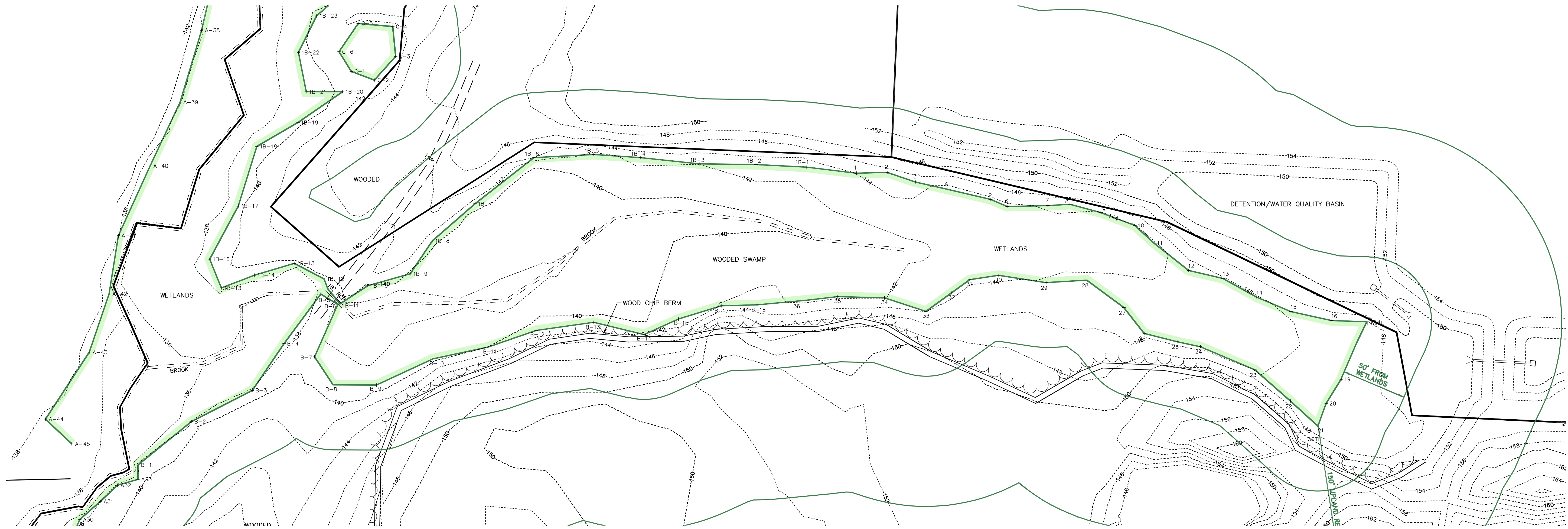
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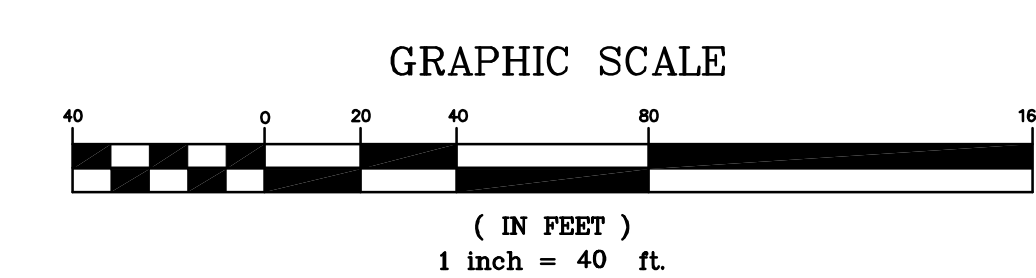
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EXISTING CONDITIONS SURVEY  
WINDSOR, CONNECTICUT  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C2.2

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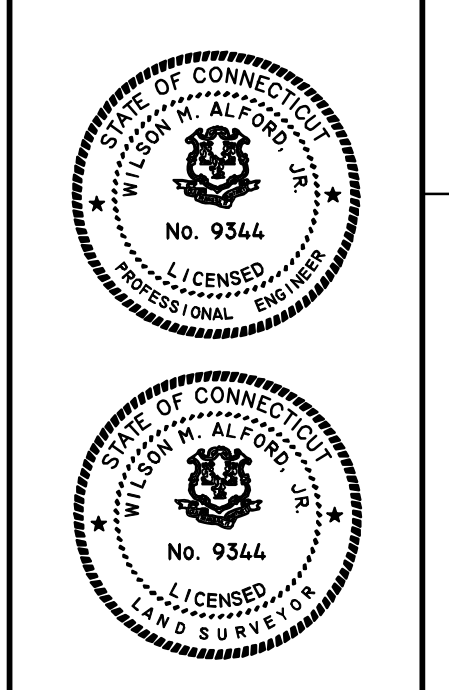


- LEGEND:**
- CB STORM CATCH BASIN
  - TF TOP OF FRAME
  - ROP CONCRETE PIPE
  - HOPE PLASTIC PIPE
  - CMP METAL PIPE
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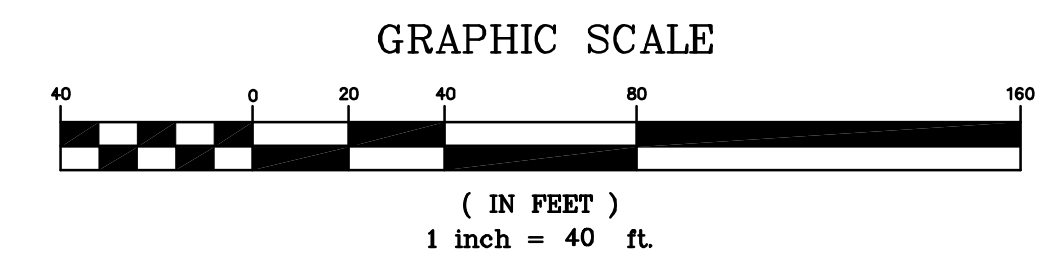
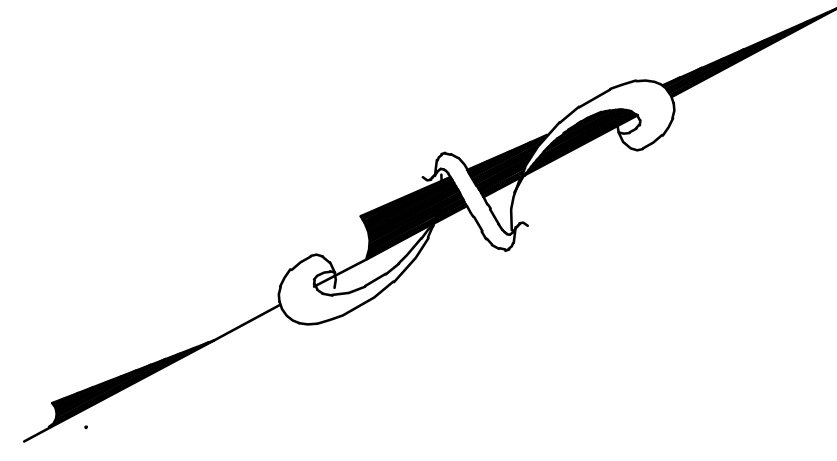
**CIVIL ENGINEERS**  
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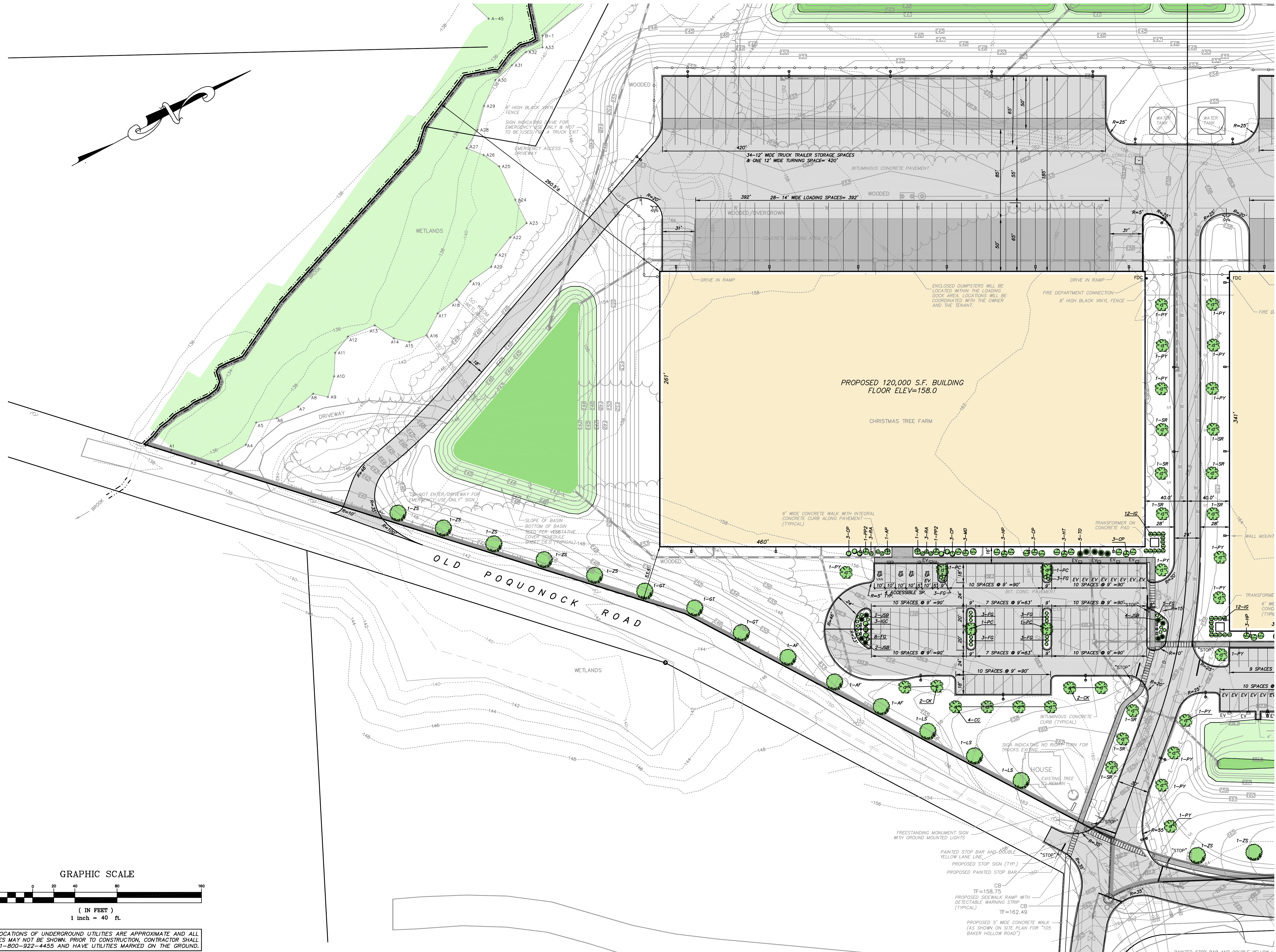
SCALE: 1 IN. = 40 FT.

**SITE PLAN**  
 PREPARED FOR  
**Condyne Capital Partners, LLC**  
 EXISTING CONDITIONS SURVEY  
 WINDSOR, CONNECTICUT  
 55 BAKER HOLLOW ROAD  
 141 OLD POBUNOCK ROAD

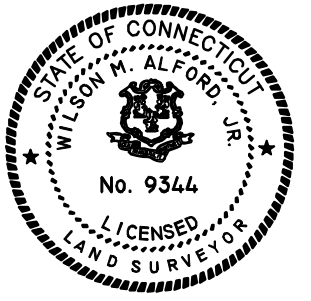
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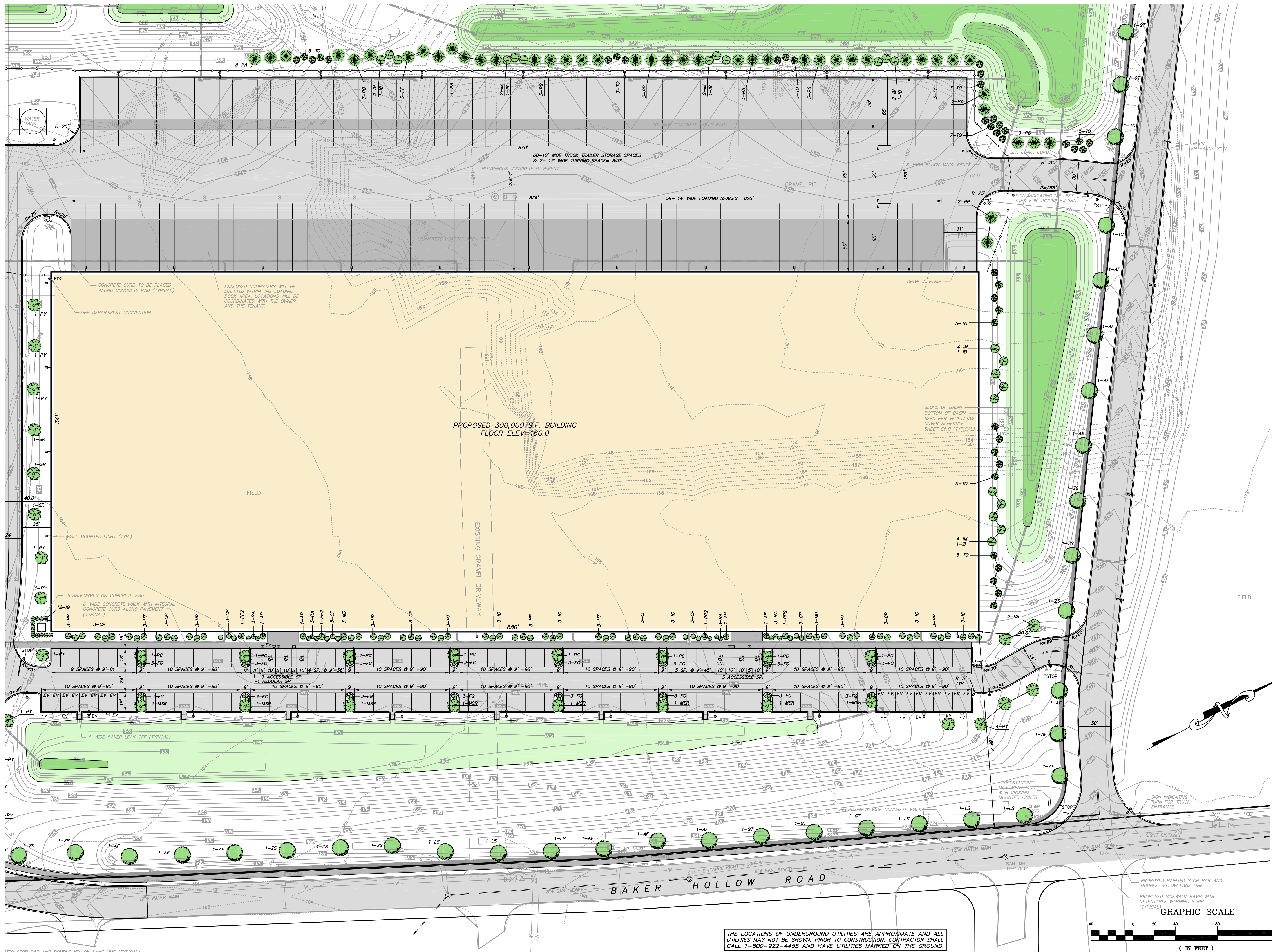
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: NOVEMBER 10, 2023

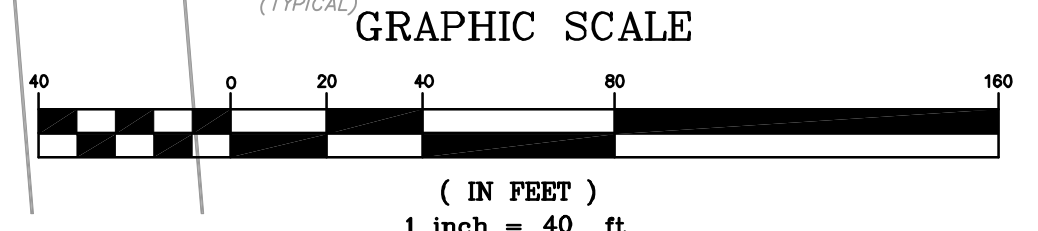
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SITE PLAN  
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LAYOUT AND LANDSCAPING  
55 BAKER HOLLOW ROAD  
141 OLD POQUONOCK ROAD  
WINDSOR, CONNECTICUT

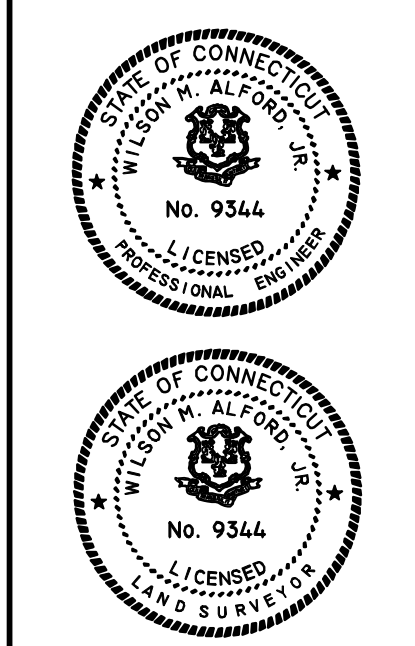
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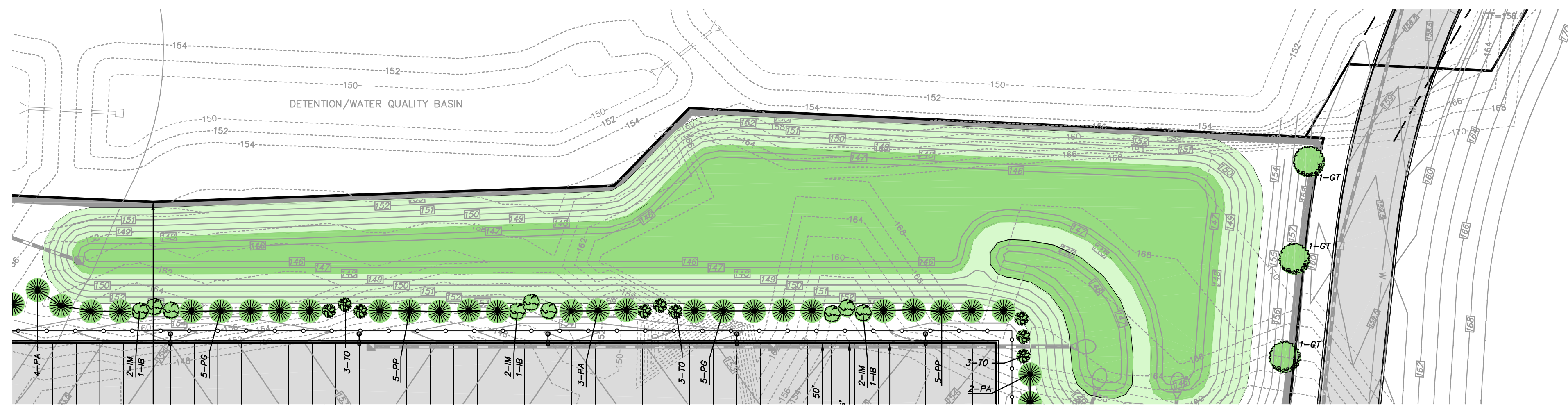
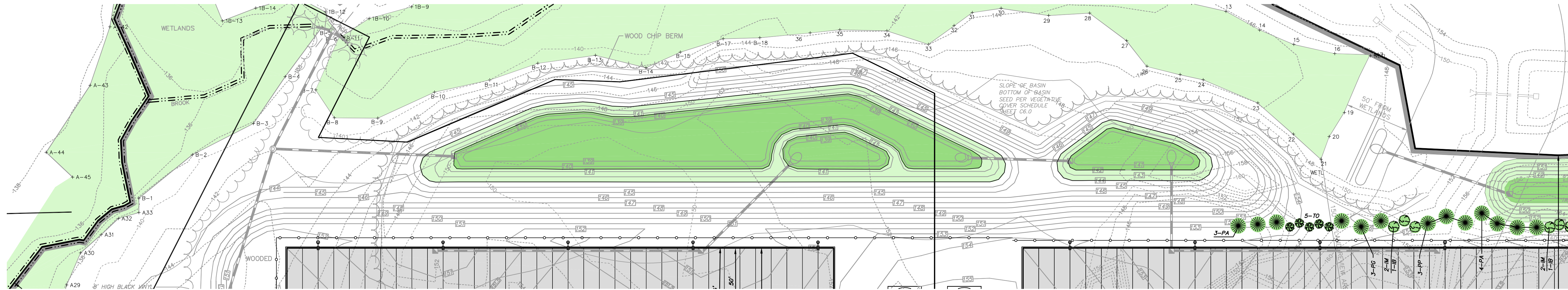
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
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SITE PLAN  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
LAYOUT AND LANDSCAPING  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD  
WINDSOR, CONNECTICUT

Sheet  
C3.2



**PLANT LIST –**

- NOTES:**
- IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
  - PROPOSED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES AND FILLED WITH A MIXTURE OF 80% TOPSOIL AND 20% PEAT MOSS. ALL PLANTING BEDS SHALL BE MULCHED WITH 4 INCHES OF 3/4 STONE, WOOD CHIPS OR WOOD BARK MULCH.
  - ADJUSTMENTS IN THE LOCATION AND/OR NUMBER OF PROPOSED PLANTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. SUCH ADJUSTMENTS SHALL BE APPROVED BY THE DESIGN ENGINEER AND THE TOWN PLANNER.

**TREES**

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
AF	16	ACER x FREEMANII 'AUTUMN BLAZE'	RED SUNSET RED MAPLE	3"-3 1/2" CAL. B&B
AP	6	ACER PALMATUM DISSECTUM	CUTLEAF JAPANESE MAPLE "CRIMSON QUEEN", "EVER RED" OR SIMILAR CULTIVAR. USE SAME CULTIVAR ALONG FRONT OF BUILDING.	5 GALLON CONTAINER
CC	4	CERCIS CANADENSIS	FOREST PANSY EASTER REDBUD	2"-2 1/2" CAL. B&B
CK	4	CORNUS KOUSA	KOUSA DOGWOOD	2"-2 1/2" CAL. B&B
MSR	8	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	6'-8" TALL B&B
PA	12	PICEA ABIES	NORWAY SPRUCE	6'-8" TALL B&B
PC	12	PYRUS CALLERYANA 'CLEVELAND SELECT'	CALLERY PEAR	2"-2 1/2" CAL. B&B
PG	16	PICEA GLAUCA	WHITE SPRUCE	6'-8" TALL B&B
PP	15	PICEA PUNGENS GLAUCA	BLUE COLORADO SPRUCE	6'-8" TALL B&B
PY	19	PRUNUS x YEDOENSIS	YOSHINO CHERRY	2"-2 1/2" CAL. B&B
GT	9	GLEDITSIA TRIACANTHOS F. INERMIS	SHADEMASTER THORNLESS HONEYLOCUST	3"-3 1/2" CAL. B&B
LS	9	LIQUID STYRACIFLUA	AMERICAN SWEETGUM	3"-3 1/2" CAL. B&B
SR	11	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2"-2 1/2" CAL. B&B
TC	2	TILIA CORDATA 'PNI 6025'	GREENSPIRE LITTLELEAF LINDEN	3"-3 1/2" CAL. B&B
TO	46	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-8" TALL B&B
ZS	13	ZELKOVA SERRATA GREEN VASE	GREEN VASE ZELKOVA	3"-3 1/2" CAL. B&B

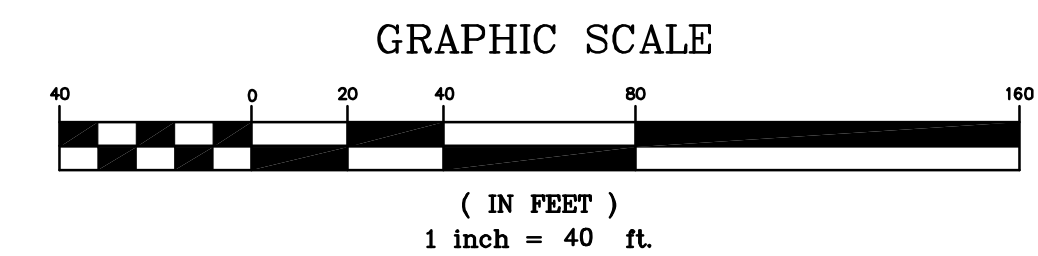
**SHRUBS**

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
CP	39	CHAMEACYPARIS PISIFERA 'FILFERA AUREA'	GOLDENTHREAD FALSE CYPRESS	3 GALLON CONTAINER
HP	18	HYDRANGEA PANICULATA 'PINK DIAMOND'	PINK DIAMOND PANICLED HYDRANGEA	3 GALLON CONTAINER
HT	15	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA PANICLED HYDRANGEA	3 GALLON CONTAINER
IB	6	ILEX x MESERVEAE	BLUE HOLLY 'BLUE BOY'	5 GALLON CONTAINER
IC	15	ILEX ORENATA 'COMPACTA'	JAPANESE HOLLY	3 GALLON CONTAINER
IG	24	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	3 GALLON CONTAINER
IGC	3	ILEX GLABRA 'CHAMZIN'	CHAMZIN INKBERRY	3 GALLON CONTAINER
IM	16	ILEX x MESERVEAE	BLUE HOLLY 'BLUE MAID'	5 GALLON CONTAINER
JSB	8	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	3 GALLON CONTAINER
MD	9	MICROBIOTA DECUSSATE	SIBERIAN CYPRESS	3 GALLON CONTAINER
PP2	6	PICEA PUNGENS 'MONTGOMERY'	HOOPSII SPRUCE	5 GALLON CONTAINER
RA	18	RHODODENDRON AGLO	AGLO RHODODENDRON	3 GALLON CONTAINER

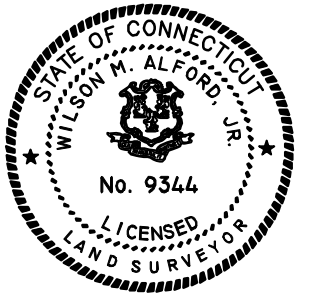
**ORNAMENTAL GRASSES**

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MINIMUM)
FG	80	MISCANTHUS SINENSIS 'PURPURASCENS'	REDLEAF SILVER GRASS	2 GALLON CONTAINER
		PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GALLON CONTAINER
		OR OTHER VARIETIES		

NOTE: THE PLAN IS TO PLANT ORNAMENTAL GRASSES WHERE SHOWN. DIFFERENT VARIETIES CAN BE USED BUT EACH GROUPING IS TO HAVE THE SAME VARIETY. THE MATURE HEIGHT OF ALL GRASSES TO BE 3-4 FEET TALL.



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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

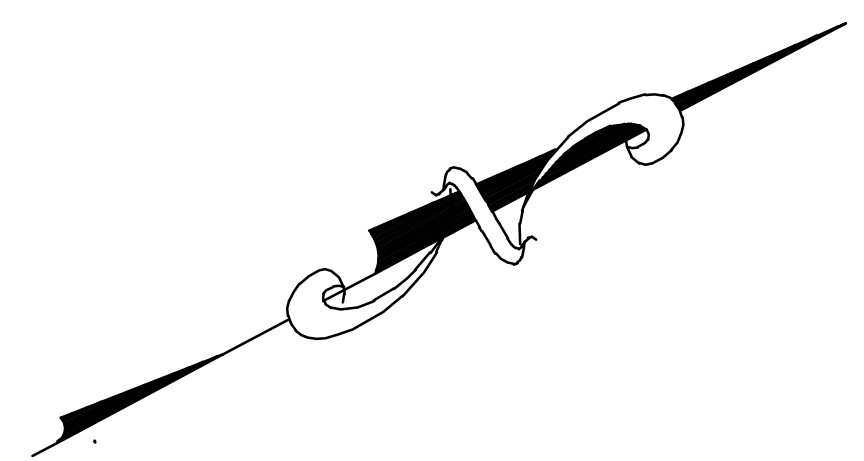
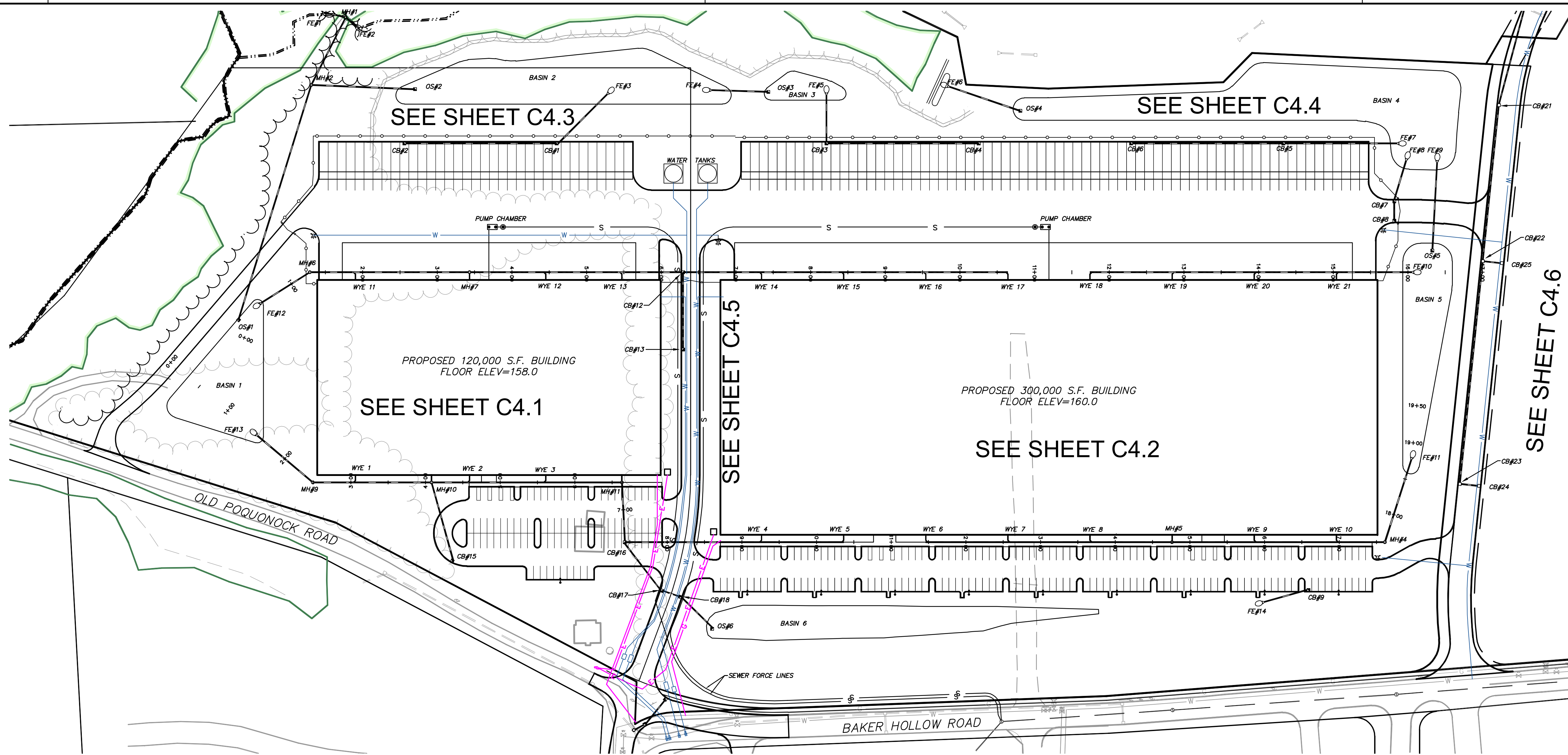
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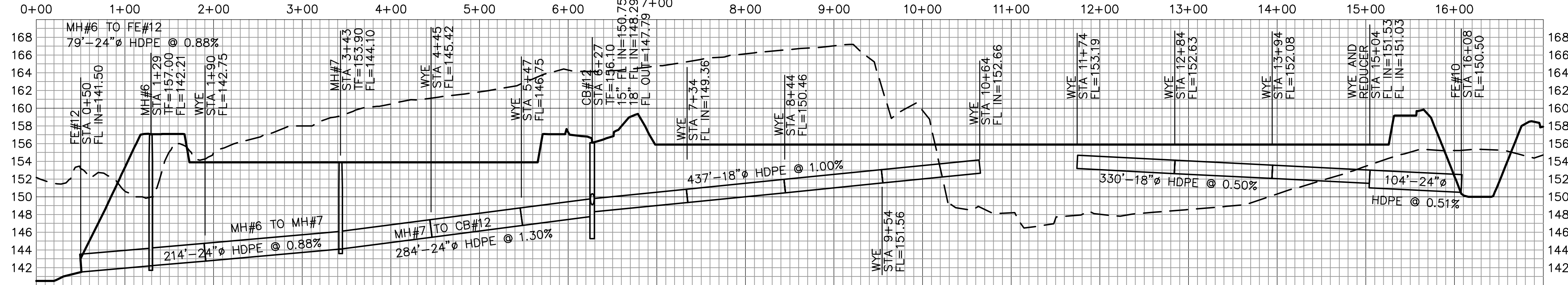
SITE PLAN  
 PREPARED FOR  
**Condylne Capital Partners, LLC**  
 LAYOUT AND LANDSCAPING  
 WINDSOR, CONNECTICUT  
 55 BAKER HOLLOW ROAD  
 141 OLD POBUNOCK ROAD

Sheet  
C3.3

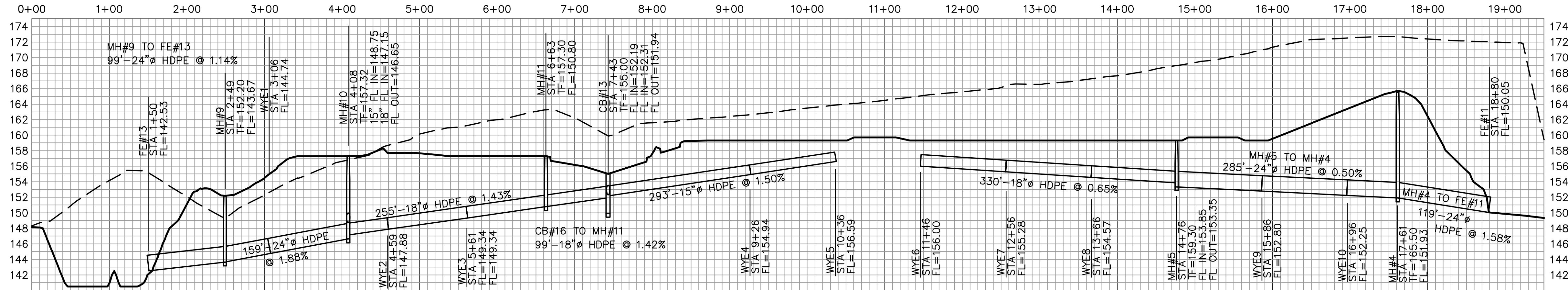




PROFILE - WEST SIDE OF BUILDINGS

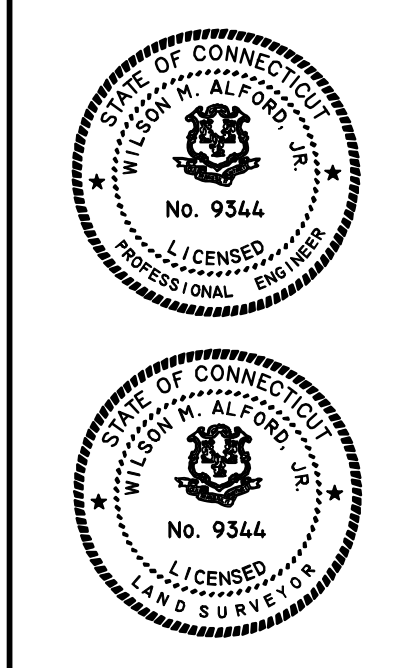


PROFILE - EAST SIDE OF BUILDINGS



- LEGEND:
- PROPOSED CATCH BASIN
  - TF - TOP OF FRAME
  - FL - FLOW LINE
  - STORM DRAINAGE PIPE
  - FLARED END
  - PLUNGER POOL
  - CONCRETE YARD DRAIN
  - PVC YARD DRAIN
  - STORM MANHOLE
  - PROPOSED WATER PIPE
  - PROPOSED GAS PIPE
  - PROPOSED ELECTRICAL SERVICE
  - EXISTING CONTOUR
  - PROPOSED SPOT GRADE
  - GRADE TOWARDS DRAIN
  - PROPOSED LIMIT OF CLEARING

NO.	DATE	REVISION



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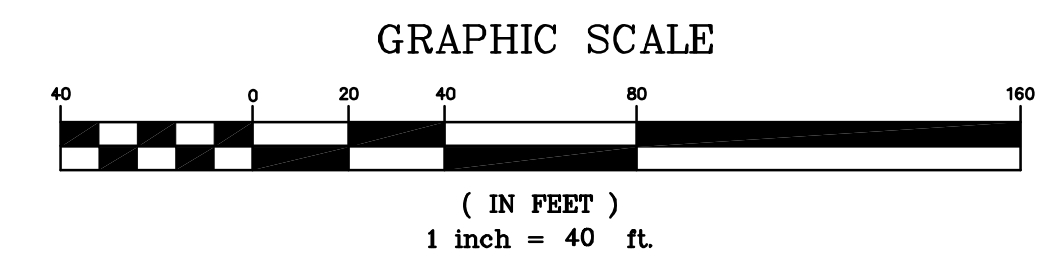
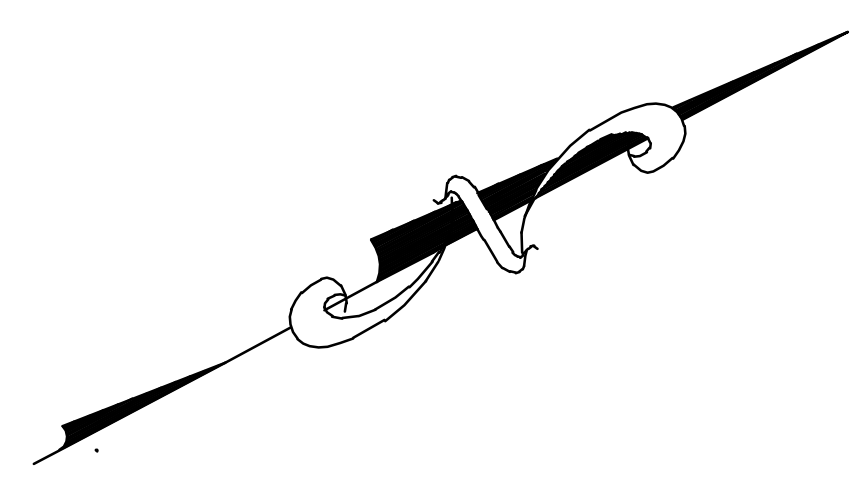


CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

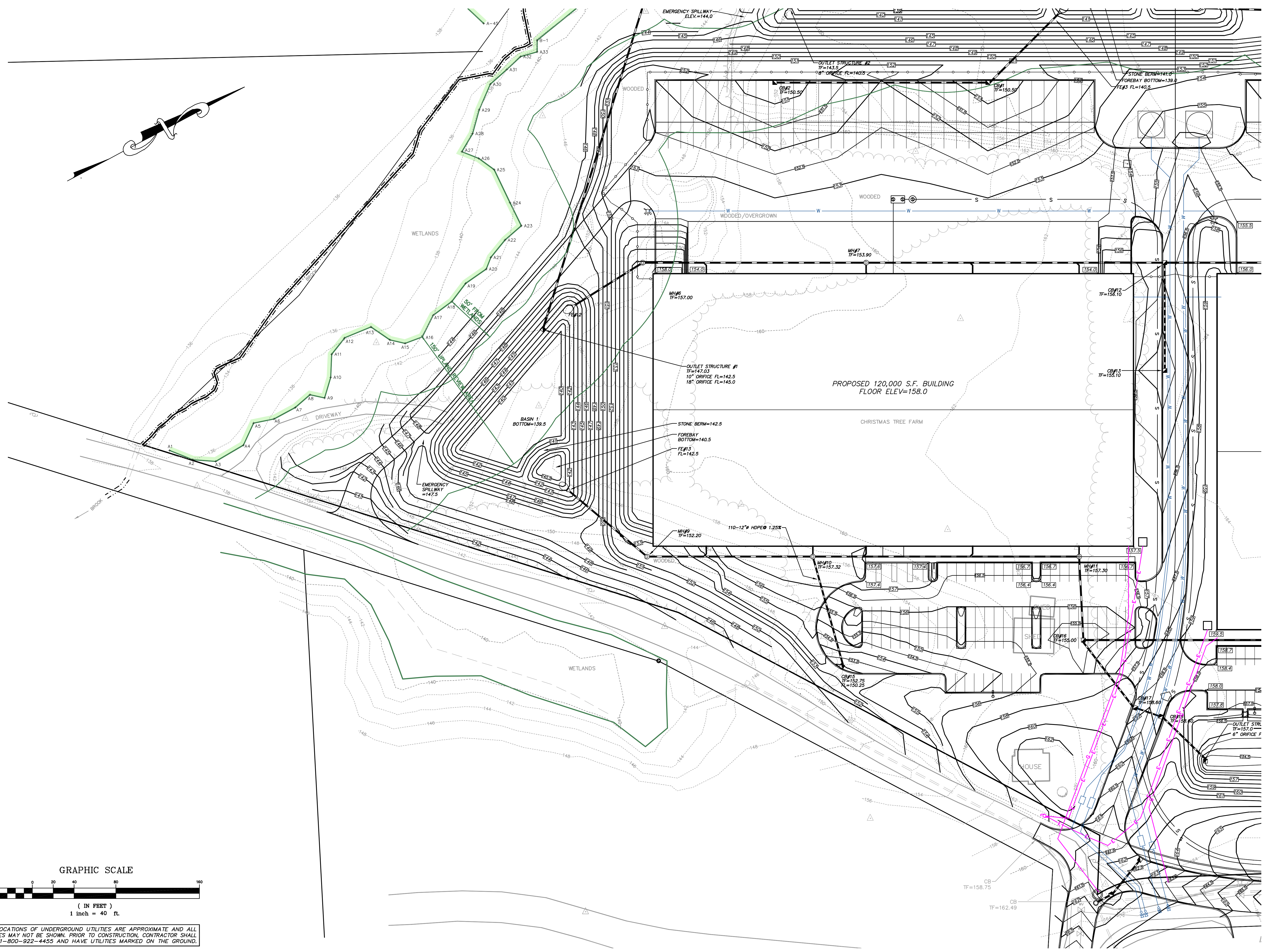
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SCALE: 1 IN. = 80 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
GRADING AND UTILITIES PLAN  
55 BAKER HOLLOW ROAD  
141 OLD POQUONOCK ROAD  
WINDSOR, CONNECTICUT

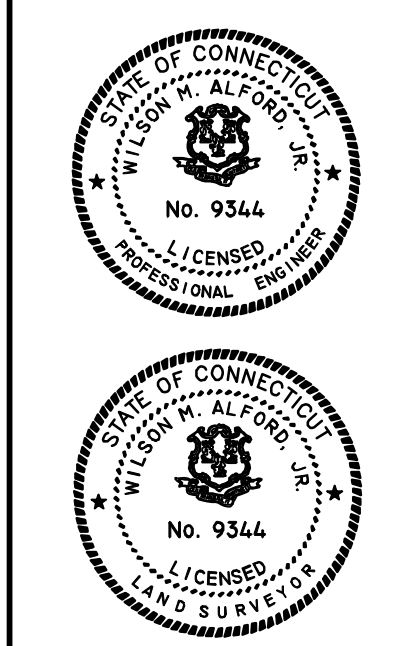
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C4.0



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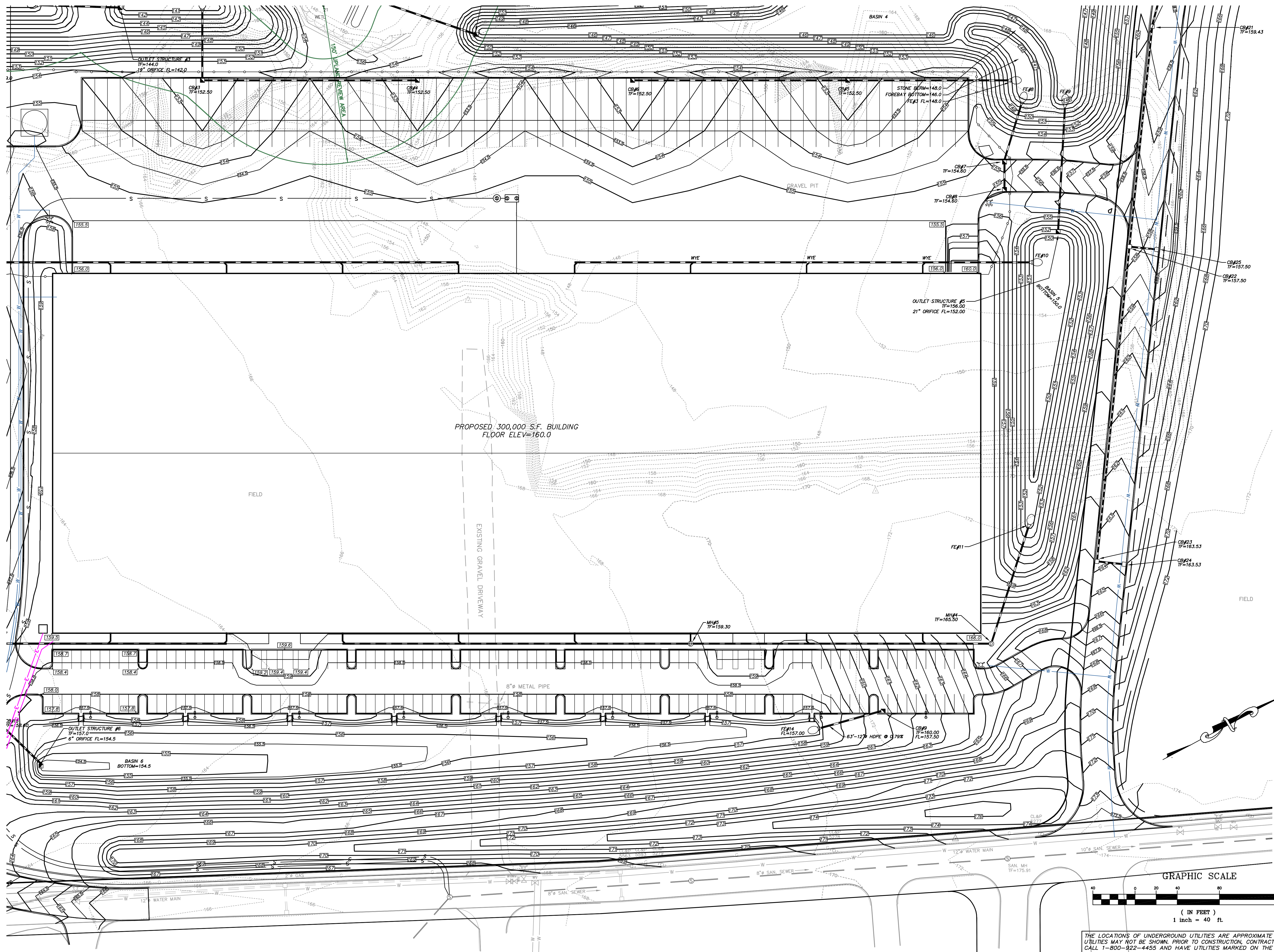
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

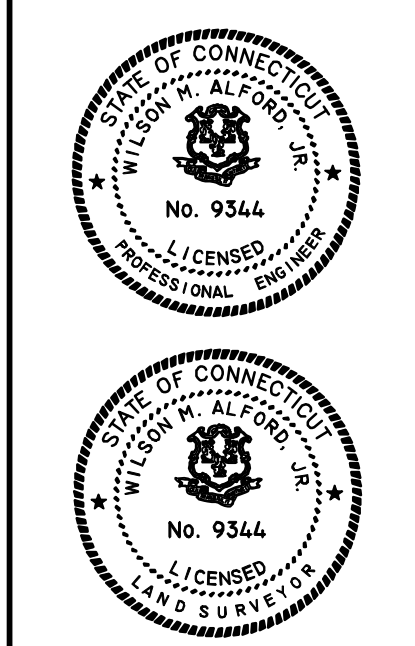
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
GRADING AND UTILITIES PLAN  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD  
WINDSOR, CONNECTICUT

Sheet  
C4.1



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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

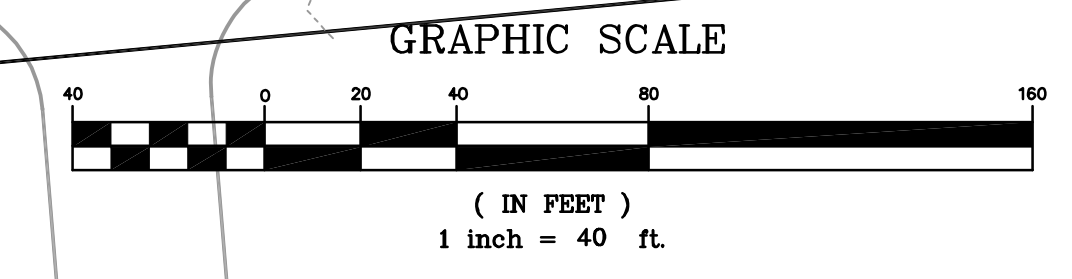
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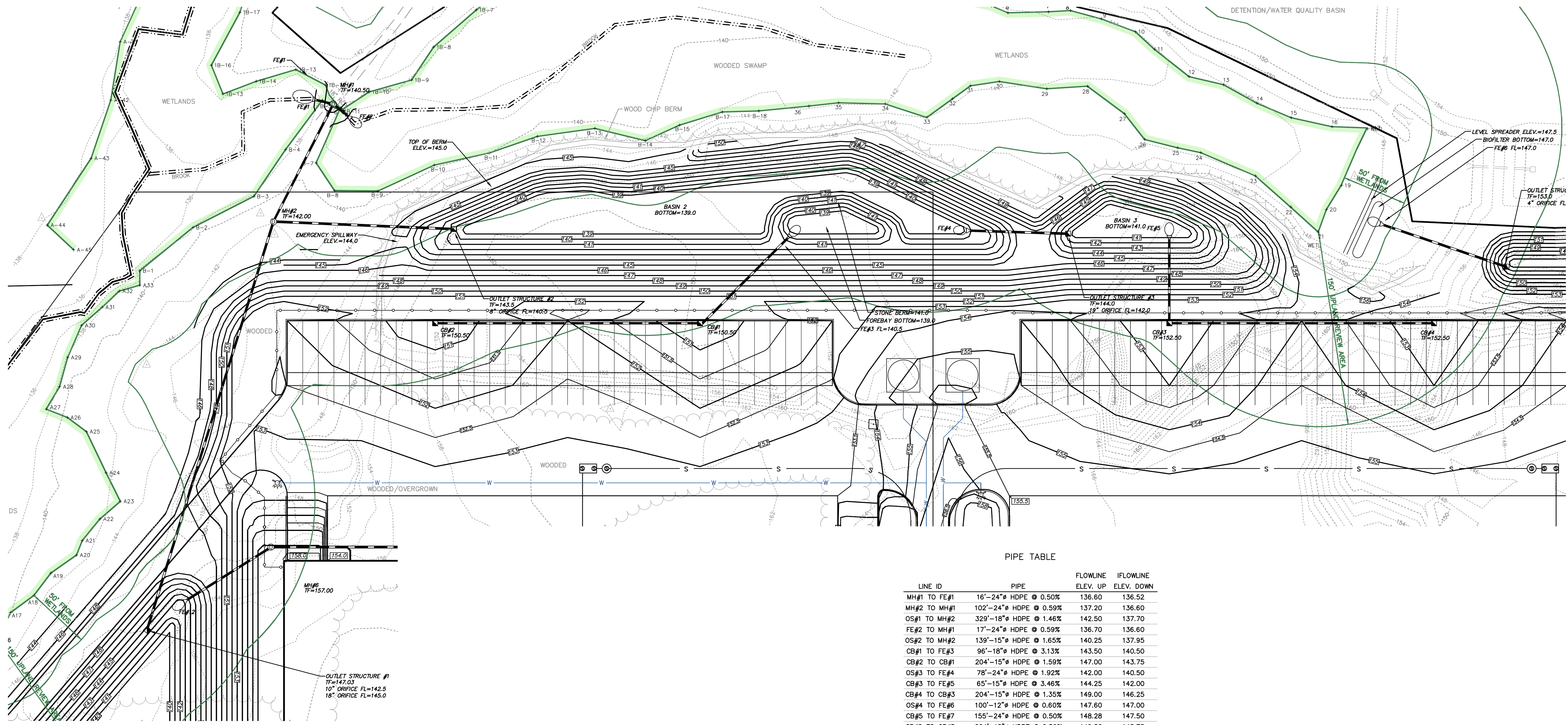
SITE PLAN  
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**Condylne Capital Partners, LLC**  
GRADING AND UTILITIES PLAN  
WINDSOR, CONNECTICUT

55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C4.2



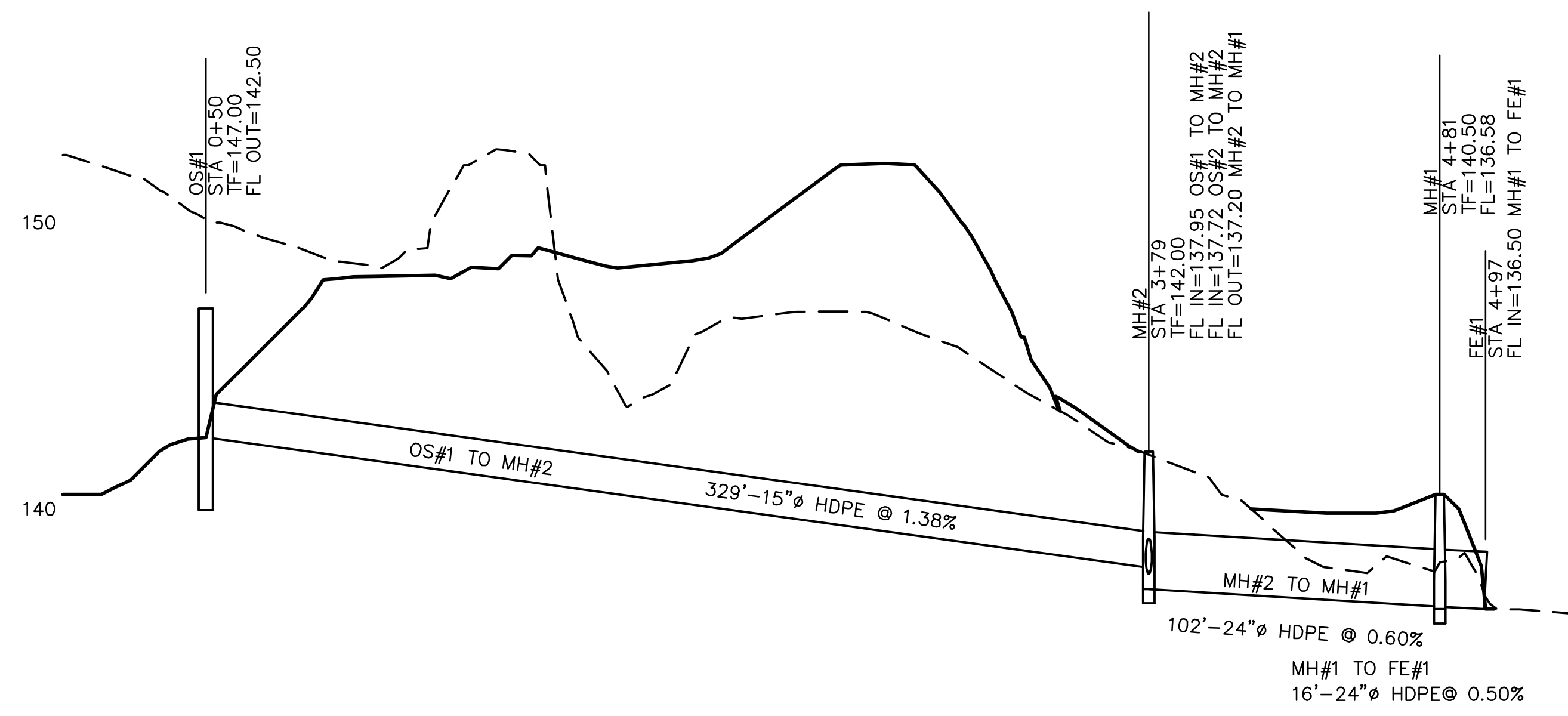
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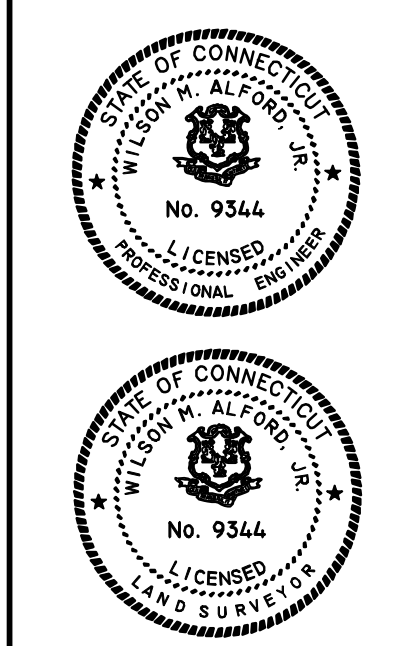
PIPE TABLE

LINE ID	PIPE	FLOWLINE ELEV. UP	FLOWLINE ELEV. DOWN
MH#1 TO FE#1	16'-24" HDPE @ 0.50%	136.60	136.52
MH#2 TO MH#1	102'-24" HDPE @ 0.59%	137.20	136.60
OS#1 TO MH#2	329'-18" HDPE @ 1.46%	142.50	137.70
FE#2 TO MH#1	17'-24" HDPE @ 0.59%	136.70	136.60
OS#2 TO MH#2	139'-15" HDPE @ 1.65%	140.25	137.95
CB#1 TO FE#3	96'-18" HDPE @ 3.13%	143.50	140.50
CB#2 TO CB#1	204'-15" HDPE @ 1.59%	147.00	143.75
OS#3 TO FE#4	78'-24" HDPE @ 1.92%	142.00	140.50
CB#3 TO FE#5	65'-15" HDPE @ 3.46%	144.25	142.00
CB#4 TO CB#3	204'-15" HDPE @ 1.35%	149.00	146.25
OS#4 TO FE#6	100'-12" HDPE @ 0.60%	147.60	147.00
CB#5 TO FE#7	155'-24" HDPE @ 0.50%	148.28	147.50
CB#6 TO CB#5	204'-18" HDPE @ 0.50%	149.80	148.78
CB#7 TO FE#8	57'-12" HDPE @ 4.56%	150.60	148.00
CB#8 TO CB#7	30'-12" HDPE @ 2.00%	151.20	150.60
OS#5 TO FE#9	121'-24" HDPE @ 3.31%	152.00	148.00
WYE#21 TO FE#10	104'-24" HDPE @ 0.51%	151.03	150.50
WYE#20 TO WYE#21	110'-18" HDPE @ 0.50%	152.08	151.53
WYE#19 TO WYE#20	110'-18" HDPE @ 0.50%	152.63	152.08
WYE#18 TO WYE#19	110'-18" HDPE @ 0.51%	153.19	152.63
MH#6 TO FE#12	79'-24" HDPE @ 0.89%	142.20	141.50
WYE#11 TO MH#6	61'-24" HDPE @ 0.89%	142.74	142.20
MH#7 TO WYE#11	153'-24" HDPE @ 0.89%	144.11	142.75
WYE#12 TO MH#7	102'-24" HDPE @ 1.30%	145.42	144.09
WYE#13 TO WYE#12	102'-24" HDPE @ 1.30%	146.75	145.42
CB#12 TO WYE#13	80'-24" HDPE @ 1.30%	147.79	146.75
WYE#14 TO CB#12	107'-18" HDPE @ 1.00%	149.36	148.29
WYE#15 TO W14	110'-18" HDPE @ 1.00%	150.46	149.36
WYE#16 TO W15	110'-18" HDPE @ 1.00%	151.56	150.46
WYE#17 TO W 16	110'-18" HDPE @ 1.00%	152.66	151.56
CB#13 TO CB#12	103'-12" HDPE @ 0.83%	151.60	150.75
MH#4 TO FE#11	119'-24" HDPE @ 1.58%	151.92	150.04
WYE#10 TO MH#4	65'-24" HDPE @ 0.51%	152.25	151.92
WYE#9 TO WYE#10	110'-24" HDPE @ 0.50%	152.80	152.25
MH#5 TO WYE#9	110'-24" HDPE @ 0.50%	153.35	152.80
WYE#8 TO MH#5	110'-18" HDPE @ 0.65%	154.57	153.85
WYE#7 TO WYE#8	110'-18" HDPE @ 0.65%	155.29	154.57
WYE#6 TO WYE#7	110'-18" HDPE @ 0.65%	156.01	155.29
CB#9 TO FE#14	63'-12" HDPE @ 0.79%	157.50	157.00
MH#9 TO FE#13	99'-24" HDPE @ 1.14%	143.66	142.53
WYE#1 TO MH#9	57'-24" HDPE @ 1.88%	144.73	143.66
MH#10 TO WYE#1	102'-24" HDPE @ 1.88%	146.65	144.73
WYE#2 TO MH#10	51'-18" HDPE @ 1.43%	147.88	147.15
WYE#3 TO WYE#2	102'-18" HDPE @ 1.43%	149.34	147.88
MH#11 TO CB#3	102'-18" HDPE @ 1.43%	150.80	149.34
CB#16 TO MH#11	80'-18" HDPE @ 1.42%	151.94	150.80
WYE#4 TO CB#16	183'-15" HDPE @ 1.50%	154.94	152.19
WYE#5 TO WYE#4	110'-15" HDPE @ 1.50%	156.59	154.94
CB#17 TO CB#16	80'-12" HDPE @ 1.00%	153.24	152.44
CB#18 TO CB#17	30'-12" HDPE @ 2.00%	153.84	153.24
OS#6 TO CB#18	59'-12" HDPE @ 1.12%	154.50	153.84
CB#15 TO MH#10	110'-12" HDPE @ 1.50%	150.25	148.60

0+00 1+00 2+00 3+00 4+00 5+00  
160



NO.	DATE	REVISION



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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

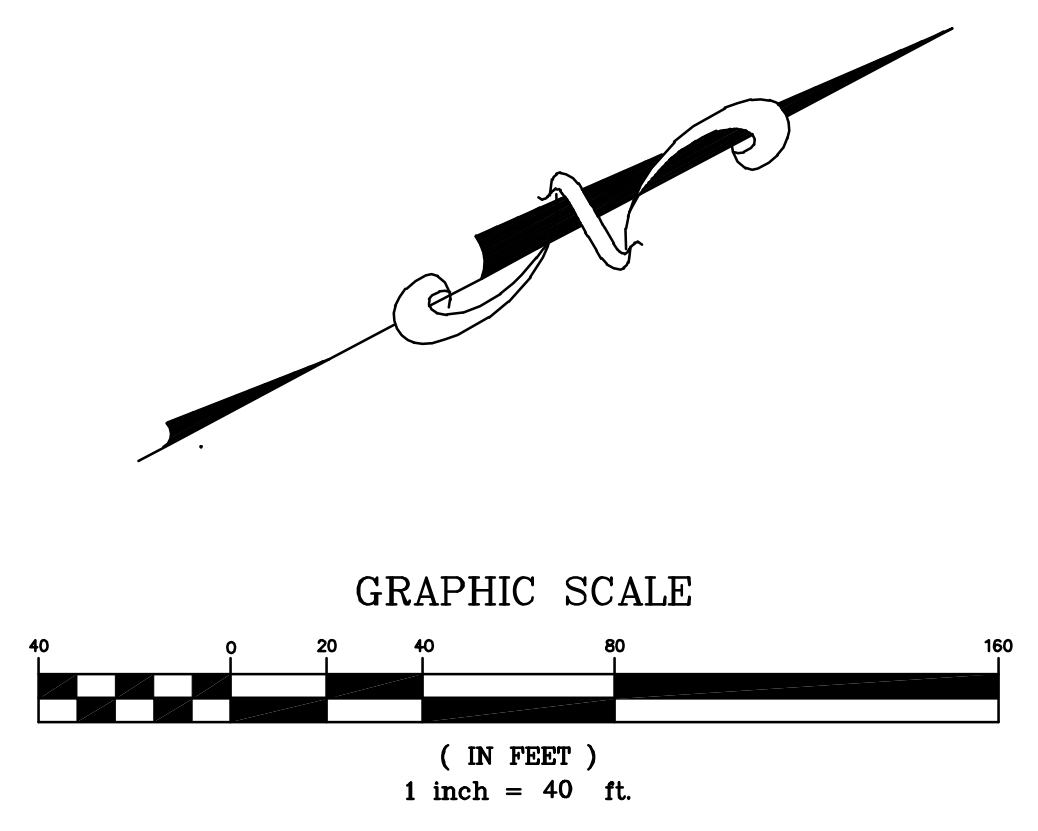
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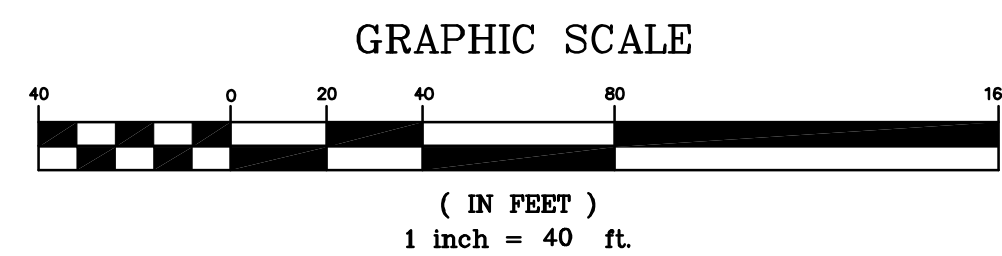
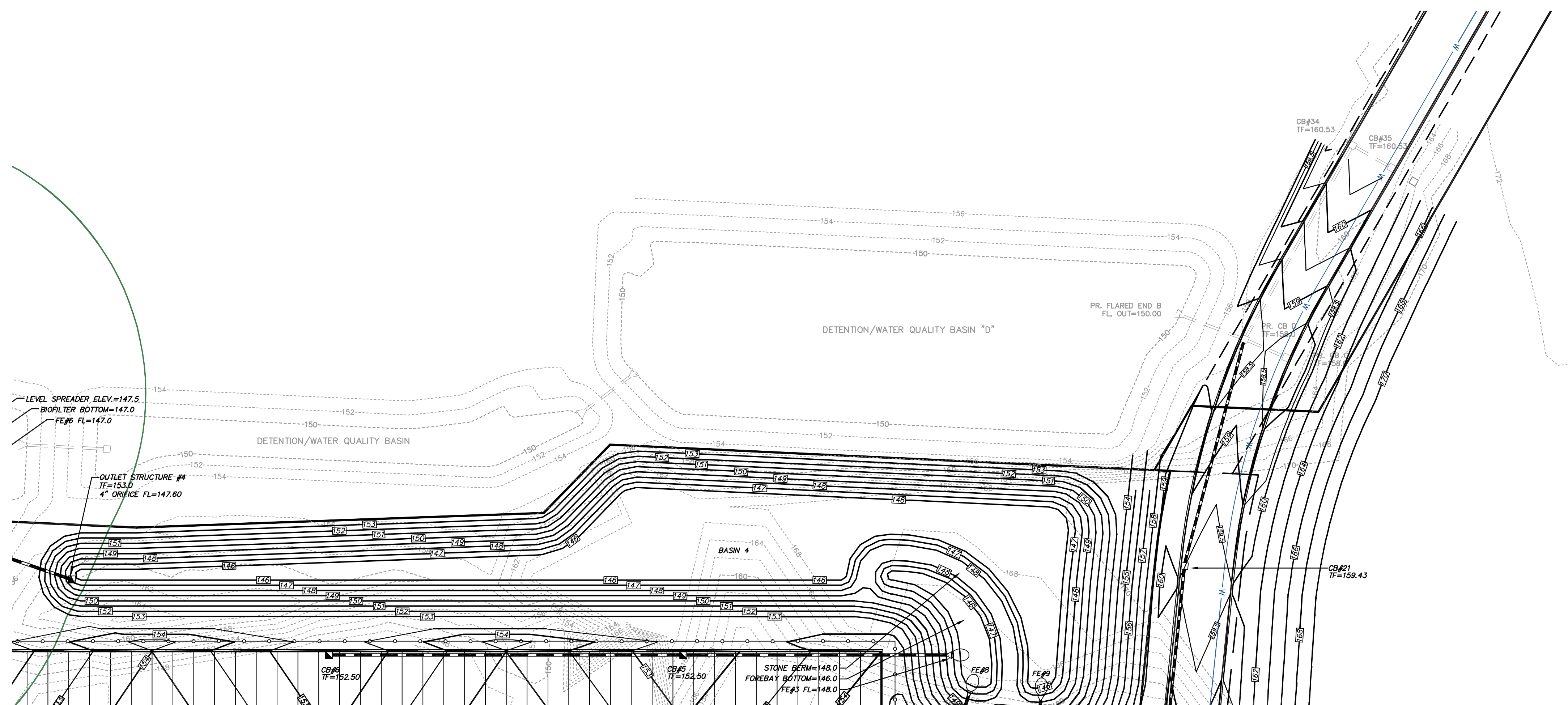
SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
GRADING AND UTILITIES PLAN  
WINDSOR, CONNECTICUT

55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C4.3

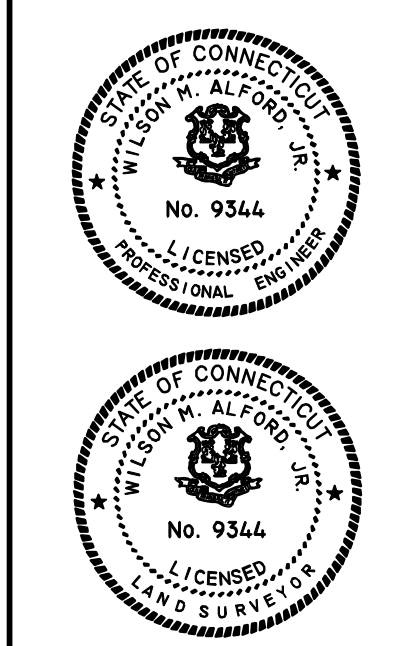


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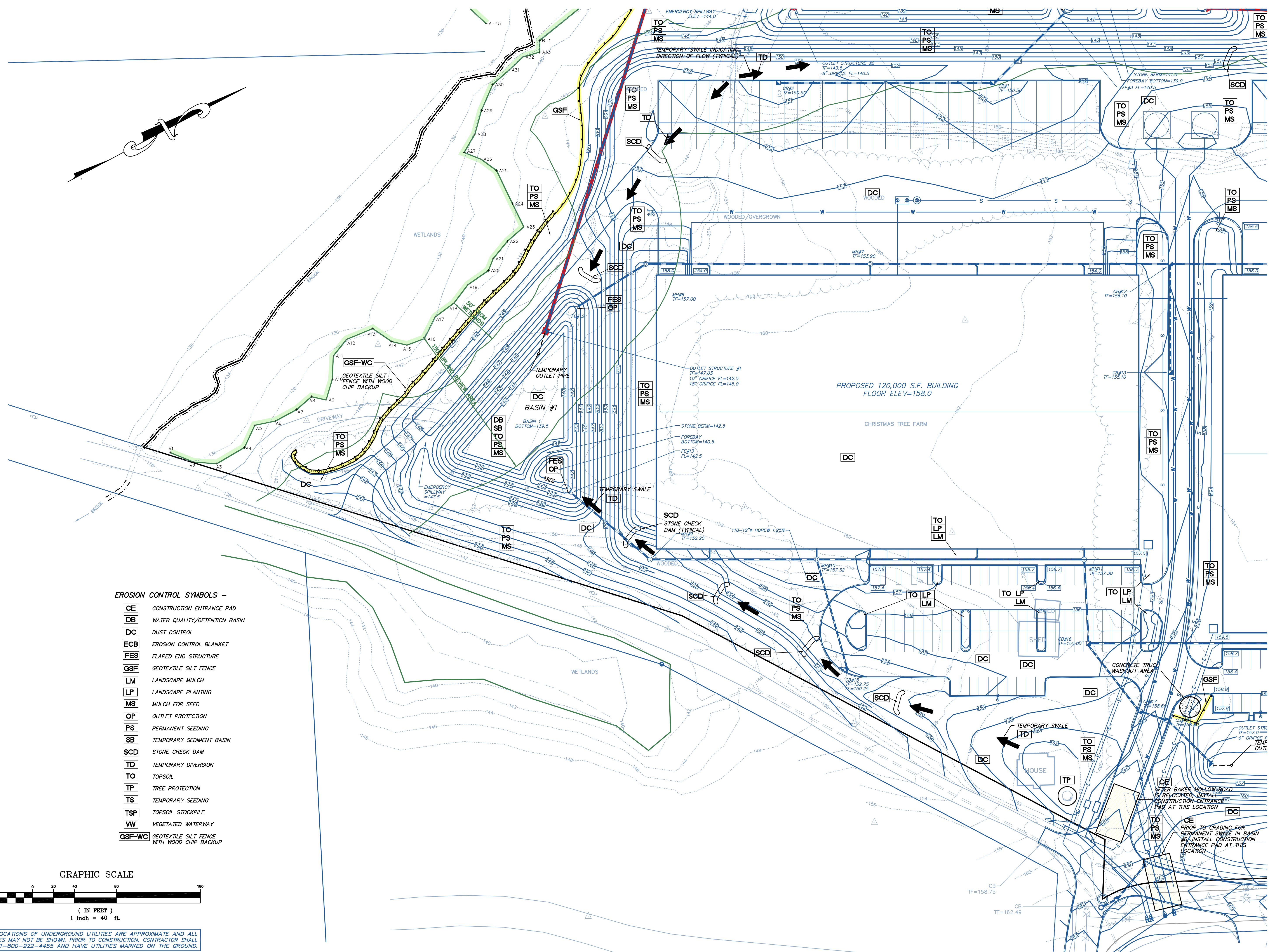
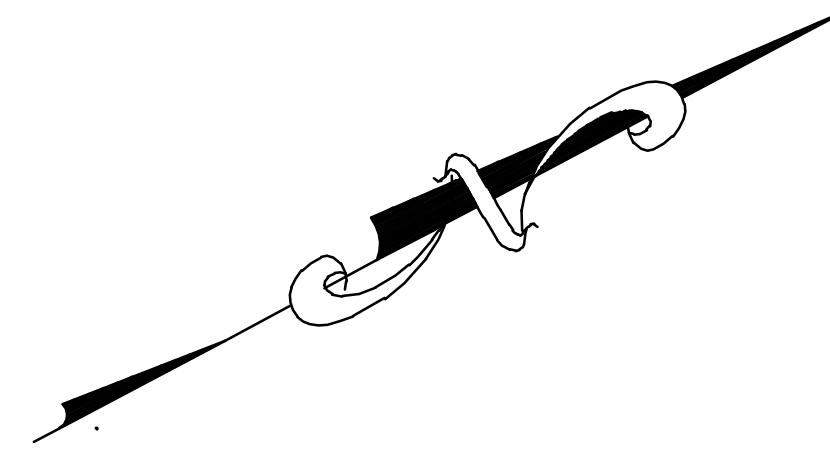
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

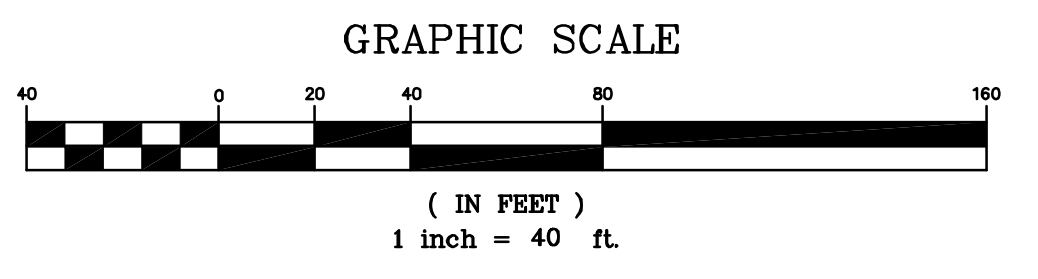
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
GRADING AND UTILITIES PLAN  
WINDSOR, CONNECTICUT  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C4.4

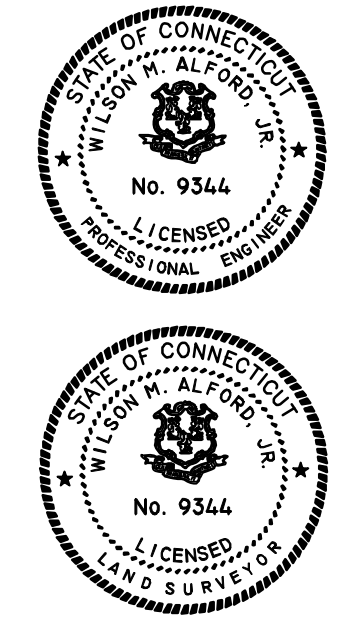


- EROSION CONTROL SYMBOLS -**
- CE** CONSTRUCTION ENTRANCE PAD
  - DB** WATER QUALITY/DETENTION BASIN
  - DC** DUST CONTROL
  - ECB** EROSION CONTROL BLANKET
  - FES** FLARED END STRUCTURE
  - GSF** GEOTEXTILE SILT FENCE
  - LM** LANDSCAPE MULCH
  - LP** LANDSCAPE PLANTING
  - MS** MULCH FOR SEED
  - OP** OUTLET PROTECTION
  - PS** PERMANENT SEEDING
  - SB** TEMPORARY SEDIMENT BASIN
  - SCD** STONE CHECK DAM
  - TD** TEMPORARY DIVERSION
  - TO** TOPSOIL
  - TP** TREE PROTECTION
  - TS** TEMPORARY SEEDING
  - TSP** TOPSOIL STOCKPILE
  - VW** VEGETATED WATERWAY
  - GSF-WC** GEOTEXTILE SILT FENCE WITH WOOD CHIP BACKUP



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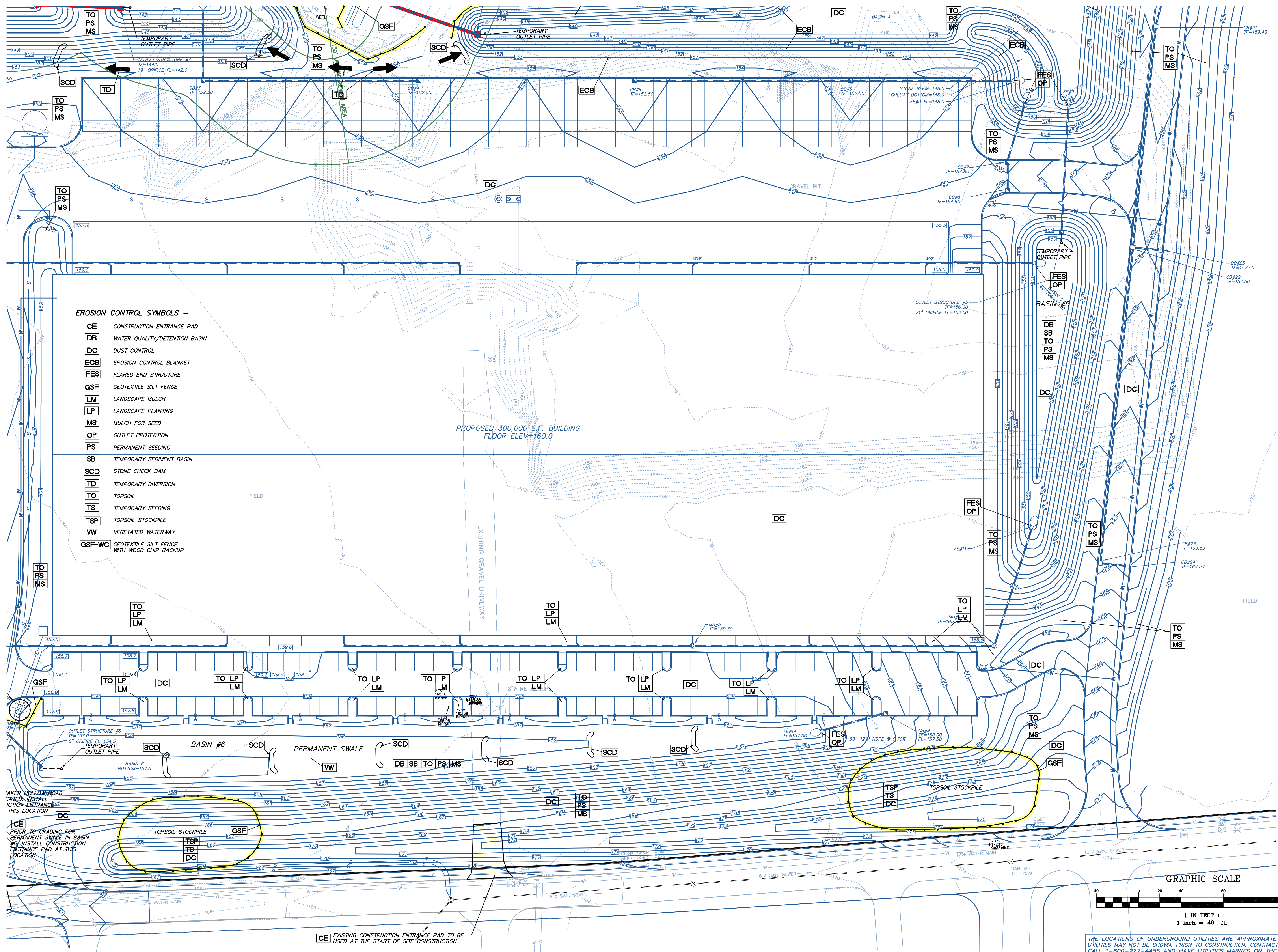


CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
EROSION & SEDIMENTATION CONTROL PLAN  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD  
WINDSOR, CONNECTICUT

Sheet  
**C5.1**



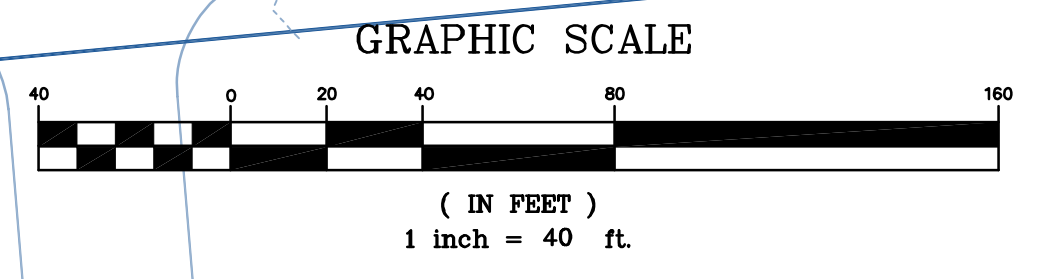
**EROSION CONTROL SYMBOLS -**

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- VW** VEGETATED WATERWAY
- GSF-WC** GEOTEXTILE SILT FENCE WITH WOOD CHIP BACKUP

PROPOSED 300,000 S.F. BUILDING  
FLOOR ELEV=160.0

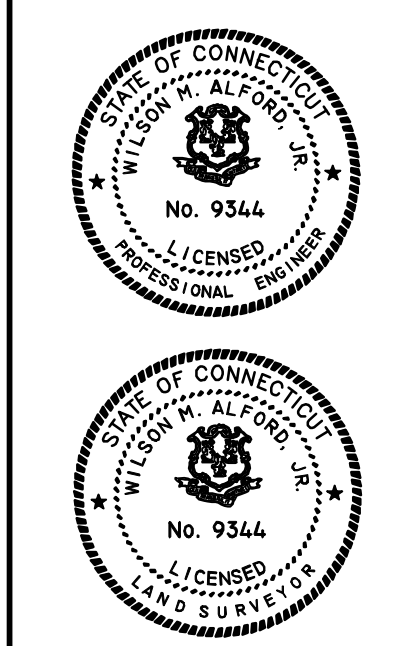
AKER HOLLOW ROAD  
PRIOR TO GRADING FOR  
PERMANENT SWALE IN BASIN  
INSTALL CONSTRUCTION  
ENTRANCE PAD AT THIS  
LOCATION

**CE** EXISTING CONSTRUCTION ENTRANCE PAD TO BE  
USED AT THE START OF SITE CONSTRUCTION



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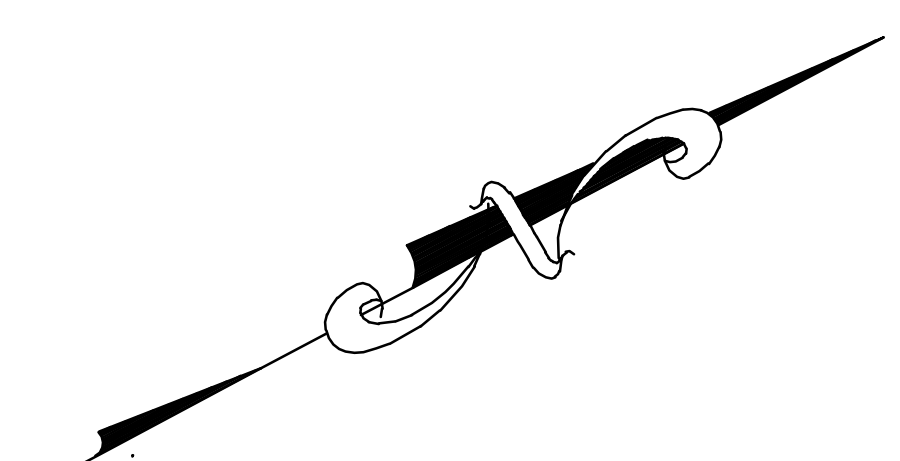
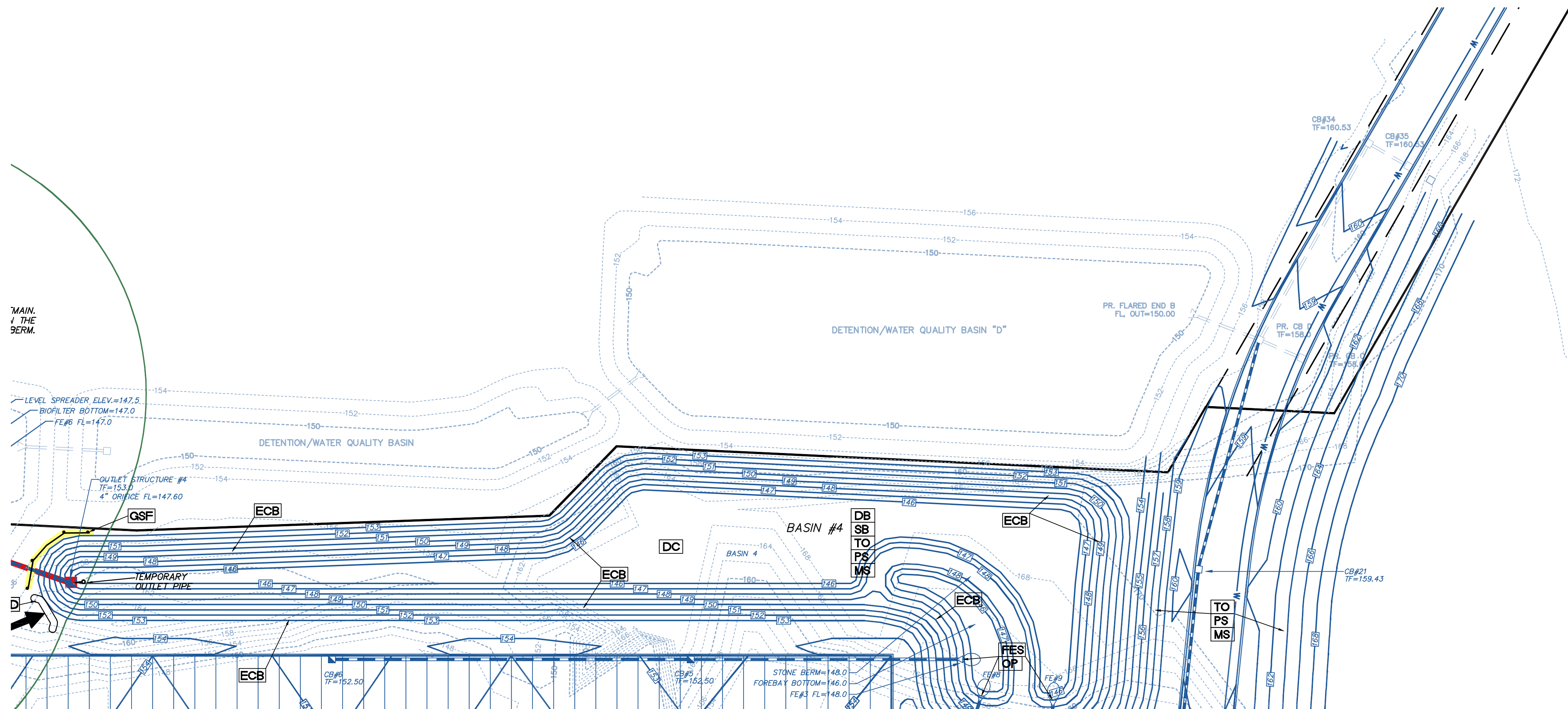
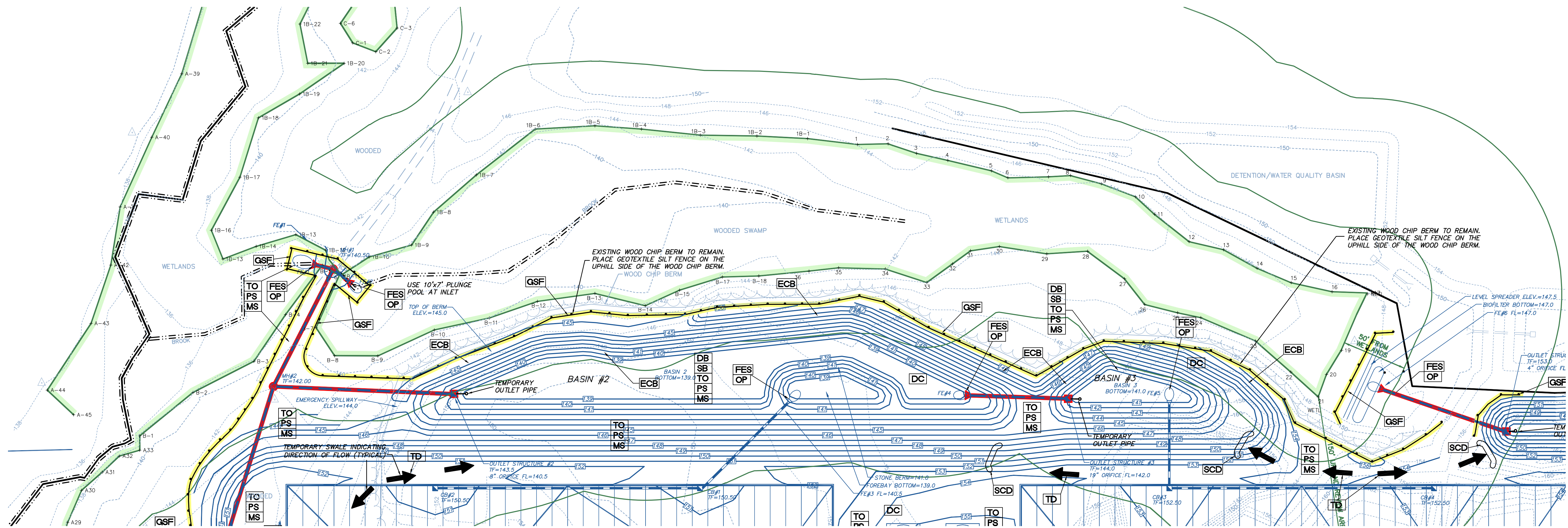
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
EROSION & SEDIMENTATION CONTROL PLAN  
WINDSOR, CONNECTICUT

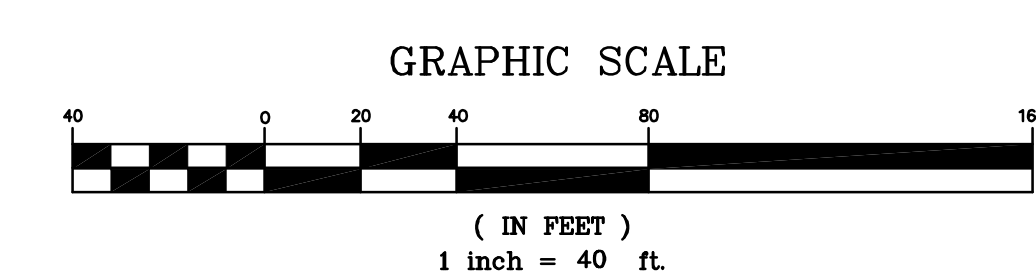
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C5.2



**EROSION CONTROL SYMBOLS -**

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- OP** OUTLET PROTECTION
- PS** PERMANENT SEEDING
- SB** TEMPORARY SEDIMENT BASIN
- SCD** STONE CHECK DAM
- TD** TEMPORARY DIVERSION
- TO** TOPSOIL
- TS** TEMPORARY SEEDING
- TSP** TOPSOIL STOCKPILE
- VW** VEGETATED WATERWAY
- GSF-WC** GEOTEXTILE SILT FENCE WITH WOOD CHIP BACKUP



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

NO.	DATE	REVISION



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

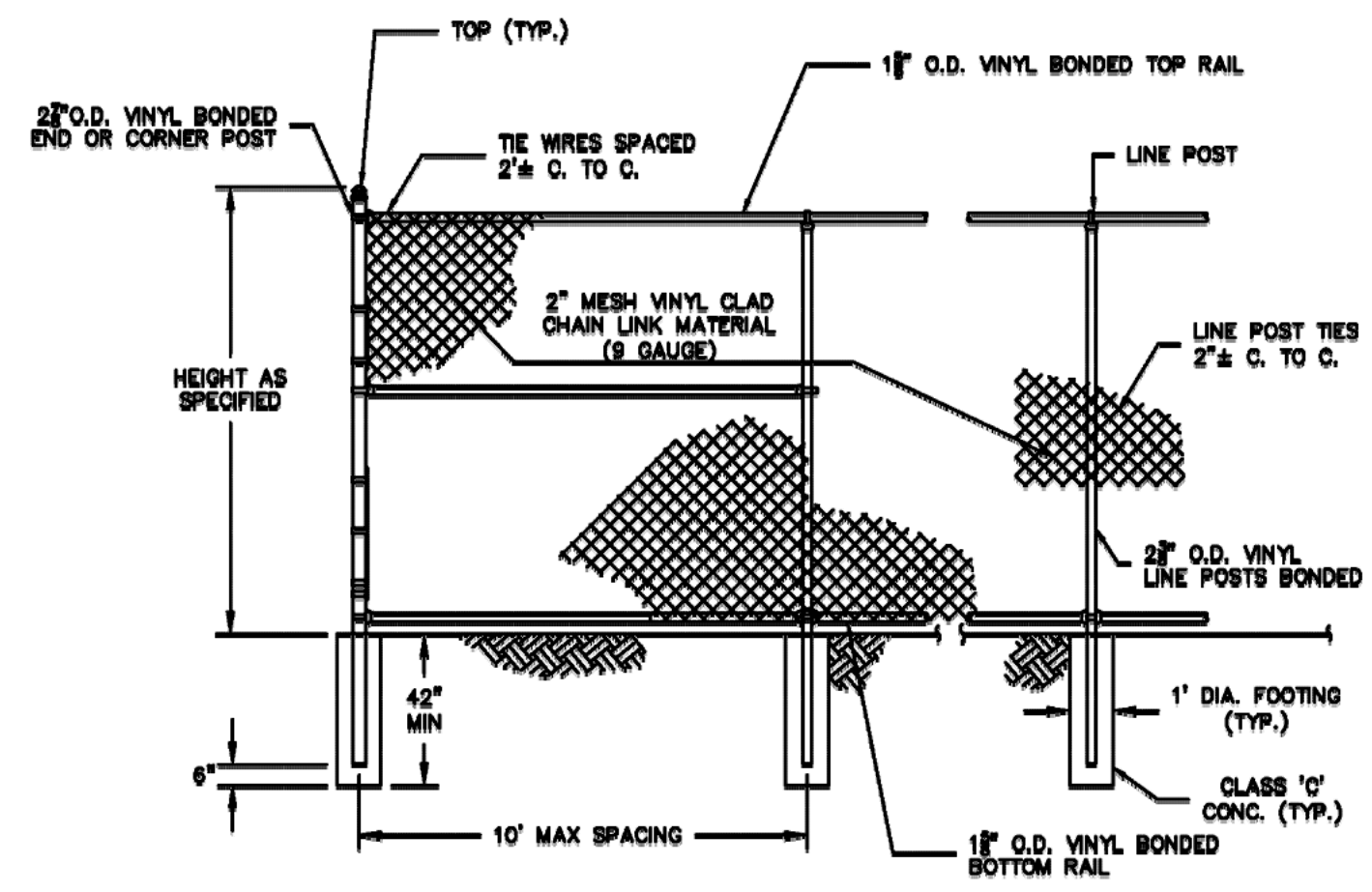
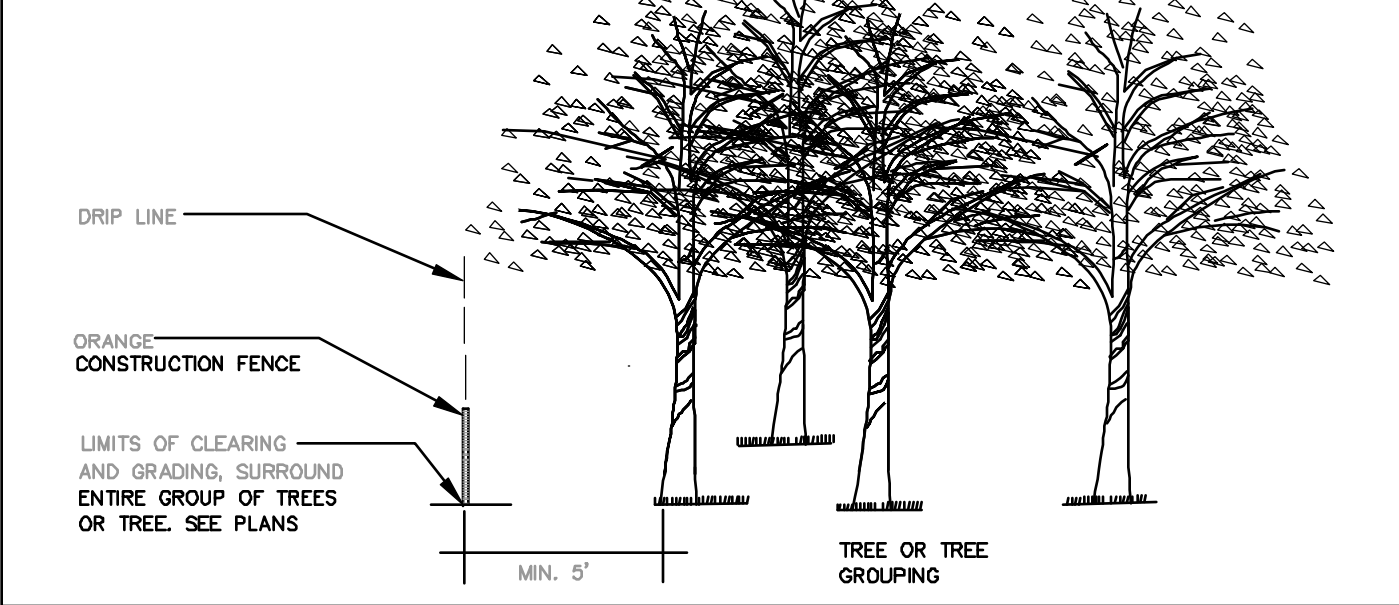
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**Condylne Capital Partners, LLC**  
EROSION & SEDIMENTATION CONTROL PLAN  
WINDSOR, CONNECTICUT  
55 BAKER HOLLOW ROAD  
141 OLD POBUNOCK ROAD

Sheet  
C5.3



**TREE PROTECTION DETAIL -**  
NOT TO SCALE



**TOWN OF WINDSOR Engineering Department**

**CHAIN LINK FENCING D-401**

SCALE: HOR. NTS. DATE: MAY 2010  
VER.

**VEGETATIVE COVER SCHEDULE-**

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH 10 INCHES MINIMUM OF TOPSOIL. SEED AS INDICATED BELOW. CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

**PERMANENT VEGETATIVE COVER:**  
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY DESIGN ENGINEER:  
KENTUCKY BLUEGRASS 45%  
CREEPING RED FESCUE 45%  
PERENNIAL RYEGRASS 10%  
APPLY 1-3 LBS./1000 S.F.

**SEEDING DATES:** APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15

**LAWN AREAS:**  
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY DESIGN ENGINEER:  
KENTUCKY BLUEGRASS 45%  
CREEPING RED FESCUE 45%  
PERENNIAL RYEGRASS 10%  
APPLY 1-3 LBS./1000 S.F.

**BASINS:**  
SEED WHEN THE WATER TABLE IS DOWN. IT IS NOT PRACTICAL TO SEED WHERE THERE IS STANDING WATER OR WHERE SEVERE FLOODING IS LIKELY TO OCCUR BEFORE GERMINATION.

**FOR BOTTOM OF BASINS:**  
USE "NEW ENGLAND WET MIX"  
APPLICATION RATE: 1 LB./2,500 SQ. FT.

**FOR SLOPE OF BASINS:**  
USE "NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES"  
APPLICATION RATE: 1 LB./1,250 SQ. FT.

**SOURCE OF MIXES USED FOR WATER QUALITY BASIN AREA IS:**  
NEWP (NEW ENGLAND WETLAND PLANTS)  
820 WEST STREET, AMHERST, MA 01002, TEL. NO. 413-548-8000 OR APPROVED EQUAL.

**TEMPORARY VEGETATIVE COVER:**  
TEMPORARY SEEDING SHALL BE USED WHEN SOILS WILL BE EXPOSED FOR A PERIOD OF GREATER THAN ONE (1) MONTH BUT LESS THAN TWELVE (12) MONTHS.  
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15  
USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER:  
ANNUAL RYEGRASS 100%  
APPLY 1 LB./1,000 S.F.

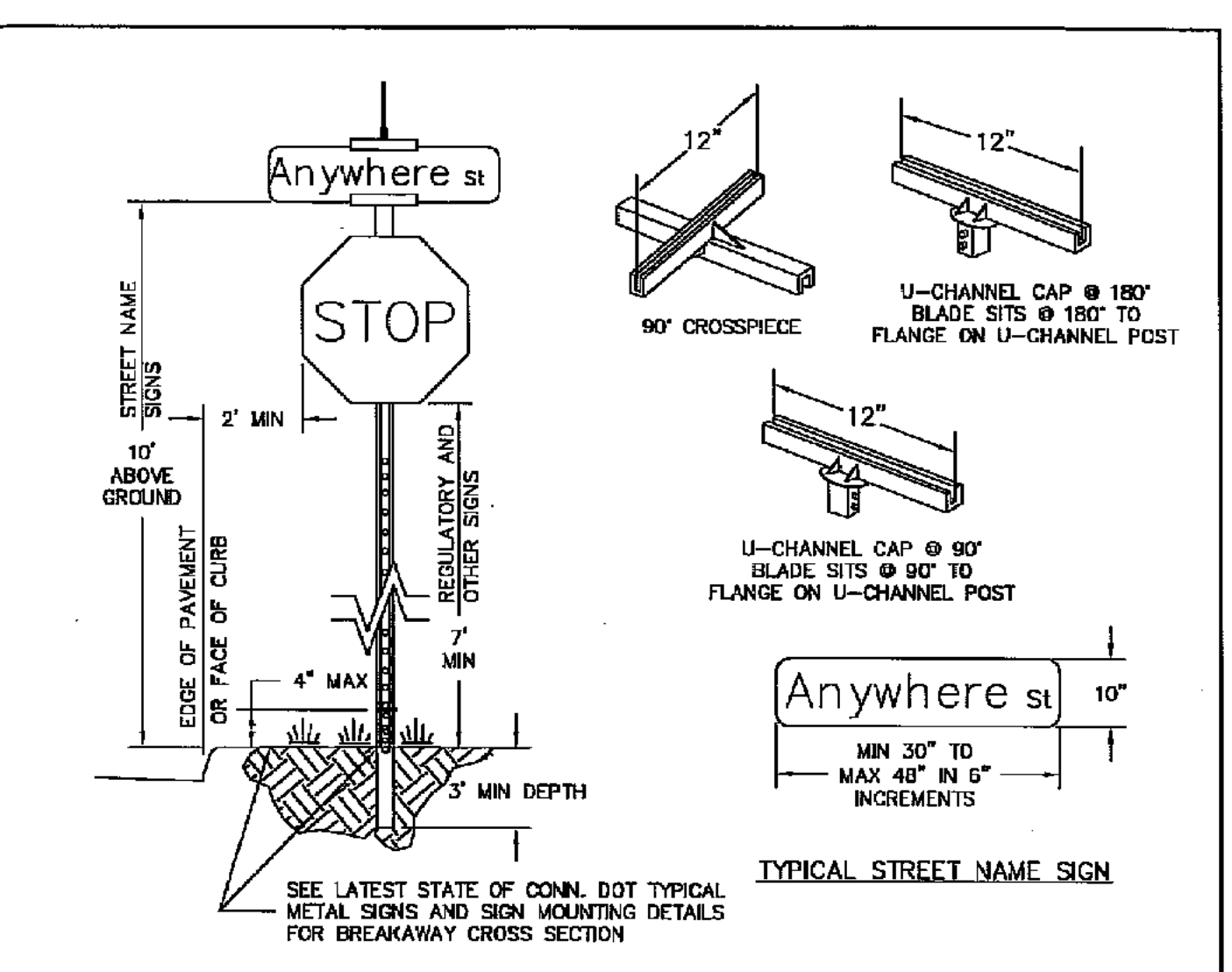
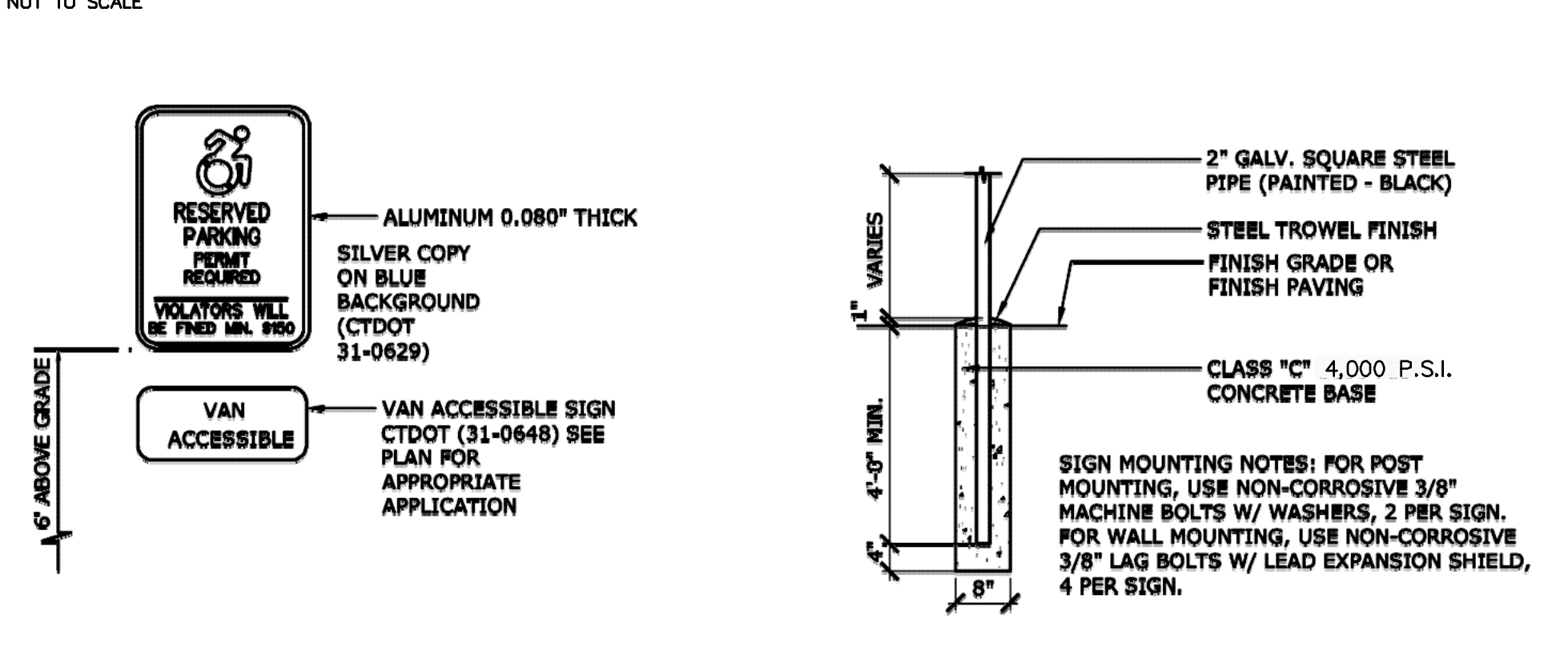
IF FINAL GRADING IS FINISHED TOO LATE IN THE SEASON FOR ESTABLISHMENT OF VEGETATIVE COVER, AREAS DISTURBED TO BE ROUGH GRADED, COVERED WITH HAY MULCH, THEN EROSION CONTROL FABRIC OR BLANKET TO BE PLACED ON TOP OF THE HAY. EROSION CONTROL FABRIC OR BLANKET TO BE PLACED PER MANUFACTURER'S SPECIFICATIONS.

ALL 3:1 SLOPES AND STEEPER ARE TO BE STABILIZED WITH NETTING OR OTHER DIRECT STABILIZATION METHOD, IN ADDITION TO TEMPORARY OR PERMANENT SEEDING.

**SITE PLAN NOTES -**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ZONING REGULATIONS AND THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
- MATERIAL THICKNESSES SPECIFIED ARE COMPACTED THICKNESSES.
- PROPOSED PAVEMENT SHALL MAKE A SMOOTH TRANSITION WITH THE EXISTING PAVEMENT.
- ROUND TOPS AND TOES OF ALL PAVED AND PLANTED SLOPES.
- UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF WINDSOR ENGINEERING STANDARDS AND SPECIFICATIONS, "THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816, AMENDED, AND WITH MANUFACTURER'S SPECIFICATIONS. PROPOSED WATER AND SEWER SHALL CONFORM TO M.D.C. SPECIFICATIONS AND DETAILS.
- WASTE CONTROL IS TO BE MAINTAINED ON THE SITE AT ALL TIMES. THIS INCLUDES ACCUMULATED SEDIMENT AND LITTER. SPECIFICALLY, ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY.
- THE CONTRACTOR/DEVELOPER SHALL NOTIFY THE TOWN ENGINEER AND/OR THE INWC AGENT AT LEAST TWO (2) WORKING DAYS BEFORE THE FOLLOWING:
  - START OF CONSTRUCTION
  - COMPLETION OF CLEARING LIMIT DEMARCATION
  - INSTALLATION OF E&S MEASURES
  - COMPLETION OF SITE CLEARING
  - COMPLETION OF FINAL GRADING
  - CLOSE OF CONSTRUCTION SEASON
  - COMPLETION OF FINAL LANDSCAPING
  - PRIOR TO THE REMOVAL OF CONSTRUCTION E&S CONTROL SYSTEM
- THE DEVELOPER SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITIES.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE TOPSOIL IS THE PROPERTY OF THE OWNER.
- NO RECLAIMED OR RECYCLED MATERIALS SHALL BE USED WITHOUT THE DESIGN ENGINEER'S WRITTEN AUTHORIZATION.
- THE INTENTION OF THIS PLAN IS NOT TO POND SURFACE WATER WITHIN THE PAVED AREAS.
- PROPOSED LIGHTS SHALL BE SHIELDED TO CONFINE ILLUMINATION TO THE SUBJECT SITE.
- REQUIRED LANDSCAPING SHOWN ON THE APPROVED SITE PLAN SHALL BE MAINTAINED IN A MANNER REASONABLY ASSURING ITS SURVIVAL. ANY REQUIRED PLANTING FOUND DEAD BY THE ZONING ENFORCEMENT OFFICER SHALL BE REPLACED IN-KIND DURING THE NEXT AVAILABLE PLANTING SEASON.
- AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHOULD BE SAW CUT. TACK COAT EDGE AND SEAL JOINT WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
- PROPOSED PARKING SPACES SHALL BE DELINEATED WITH 4" WIDE STRIPES OF WHITE TRAFFIC PAINT.
- ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND.
- THERE ARE NO ZONING VIOLATIONS WITH RESPECT TO LOCATION OF THE PROPOSED BUILDING, IF ERRECTED AS SHOWN.
- PLACE A BIODEGRADABLE EROSION CONTROL BLANKET ON SLOPES 3:1 AND GREATER. PLEASE REFER TO DETAIL ON SHEET C6.4.
- ANY PROPOSED SIGNAGE WILL REQUIRE FURTHER REVIEW BY THE TOWN OF WINDSOR PLANNING DEPARTMENT.

**RESERVED PARKING SIGN AND POST**  
NOT TO SCALE



**STREET NAME SIGNS:**

- SIZE: 10" HIGH BY THE NECESSARY LENGTH (MIN. 30" TO MAX 48" IN 6" INCREMENTS). LETTERS NOT TO BE CROWNED.
- LETTER SIZE: 6" UPPERCASE AND CORRESPONDING 4.5" LOWERCASE FOR THE LEGEND (STREET NAME) AND 3" UPPERCASE AND LOWERCASE FOR THE SUFFIX (St, Rd, Ln, etc.).
- FONT: CLEARVIEWHWY 2-W (NO EXCEPTIONS).
- BACKGROUND: 3M WHITE DIAMOND GRADE VLP PLUS 3M 1177 ELECTRO-CUT GREEN FILM, WHITE LETTERS AND 1/2" BORDER WITH GREEN BACKGROUND.
- SIGN MATERIAL: FLAT 0.080 GAUGE ALUMINUM WITH LEGEND ON BOTH SIDES AND WITH ROUNDED CORNERS.

**OTHER REGULATORY SIGNS:**

- REGULATORY, WARNING, AND INFORMATIONAL SIGNAGE, PROPERTIES INCLUDING, BUT NOT LIMITED TO: SIZE, FONT STYLE, FONT SIZE, COLORS, SYMBOLS, AND LAYOUT SHALL CONFORM TO THE MANUAL OF UNIFORM CONTROL DEVICES, 2009, OR AS AMENDED.

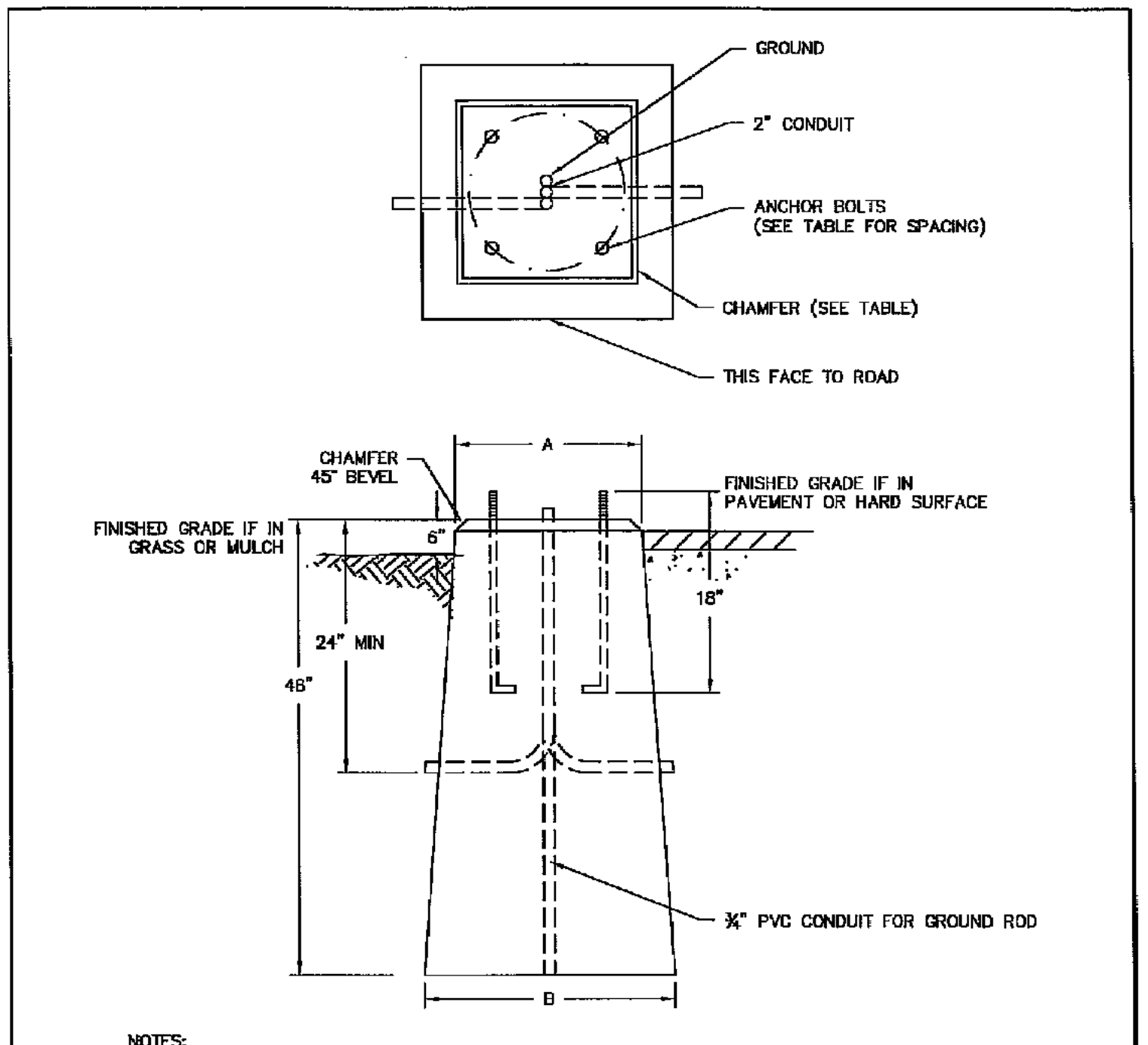
**SIGN POST:**

- ALL SIGNS SHALL BE MOUNTED ON GALVANIZED STEEL BREAKAWAY U-CHANNEL POSTS, WITH A WEIGHT OF 3 POUNDS PER FOOT.

**TOWN OF WINDSOR Engineering Department**

**SIGNAGE D-407**

SCALE: HOR. NTS. DATE: NOV 2010  
VER.



NOTES:

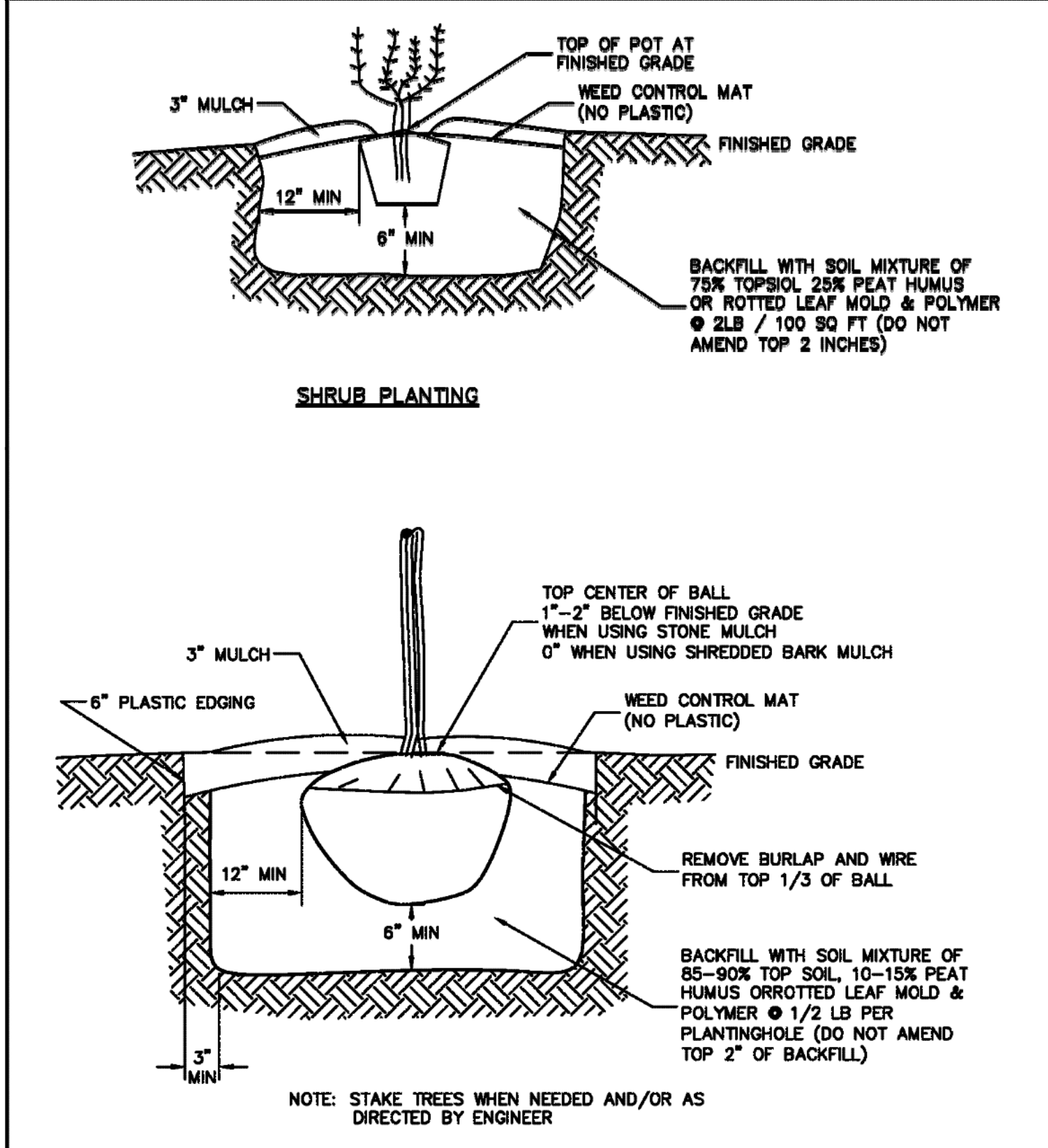
- CONCRETE SHALL BE MINIMUM 4,000 PSL 28 DAY
- CONDUIT SHALL BE SCHEDULE 40 PVC

A	B	CHAMFER	AREA TO BE USED	BOLT CIRCLE DIAMETER
15" SQ	20" SQ MIN.	3/4"	RESIDENTIAL/DECORATIVE	12 1/2"
20" SQ	24" SQ MIN.	1"	COMMERCIAL/INDUSTRIAL	15"

**TOWN OF WINDSOR Engineering Department**

**CONCRETE LIGHT STANDARD BASE D-403**

SCALE: HOR. NTS. DATE: MAY 2010  
VER.

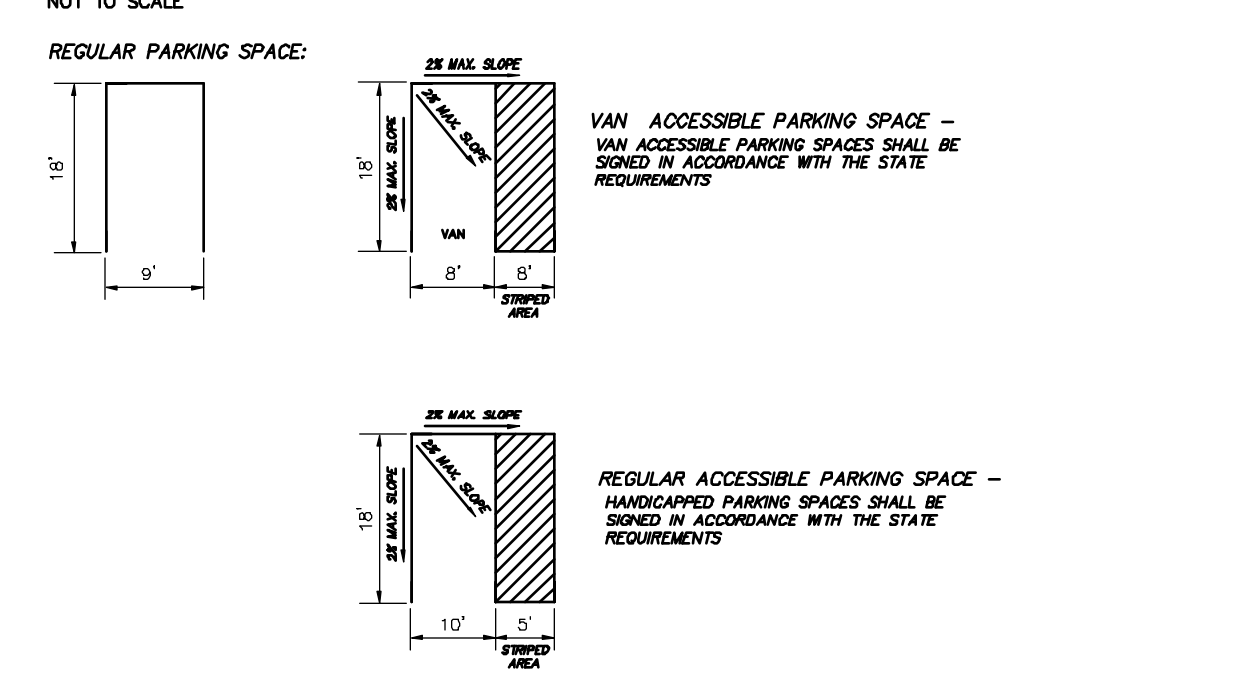


**TOWN OF WINDSOR Engineering Department**

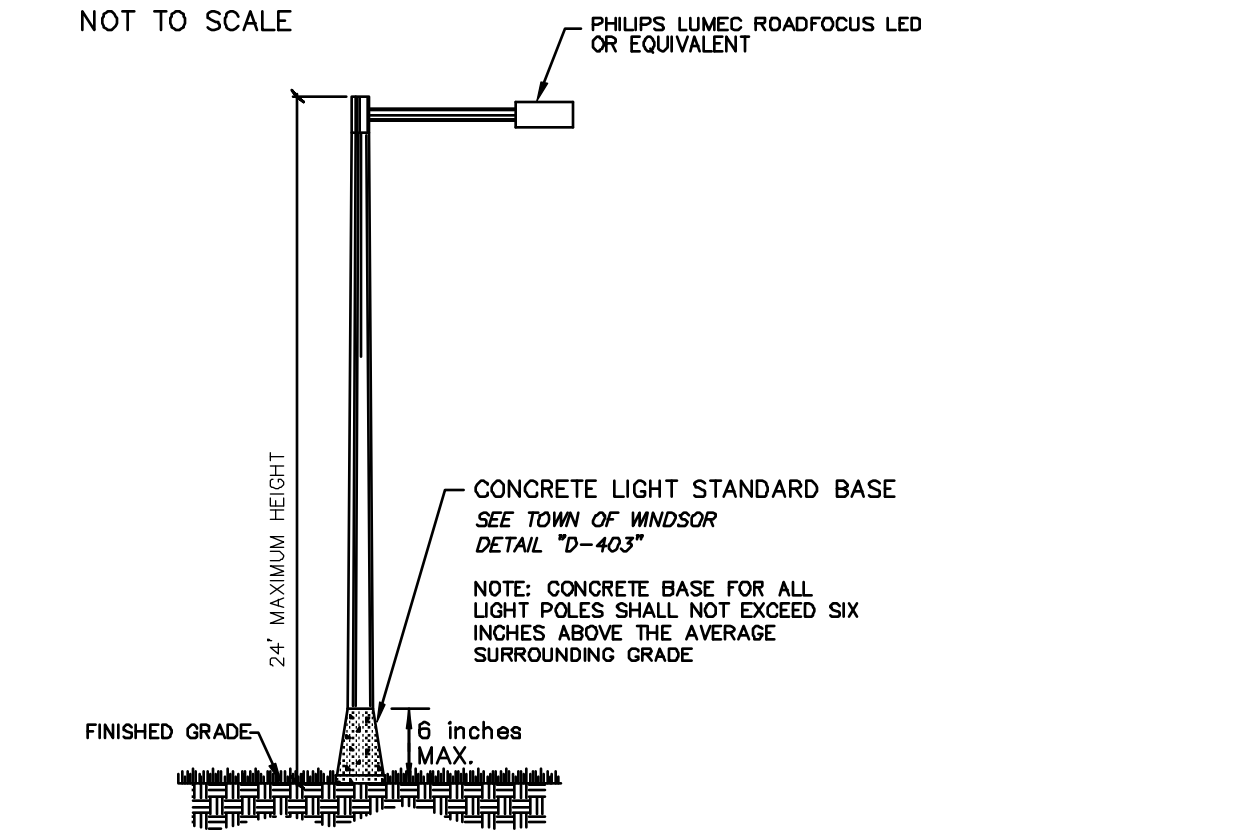
**TREE AND SHRUB PLANTING D-400**

SCALE: HOR. NTS. DATE: MAY 2010  
VER.

**PARKING SPACE DIMENSIONS -**  
NOT TO SCALE



**LIGHT DETAIL**  
NOT TO SCALE



NO.	REVISION	DATE

**WILSON M. ALFORD, P.E.**  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

**WILSON M. ALFORD, P.E.**  
No. 9344  
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

**Alford ASSOCIATES, INC.**

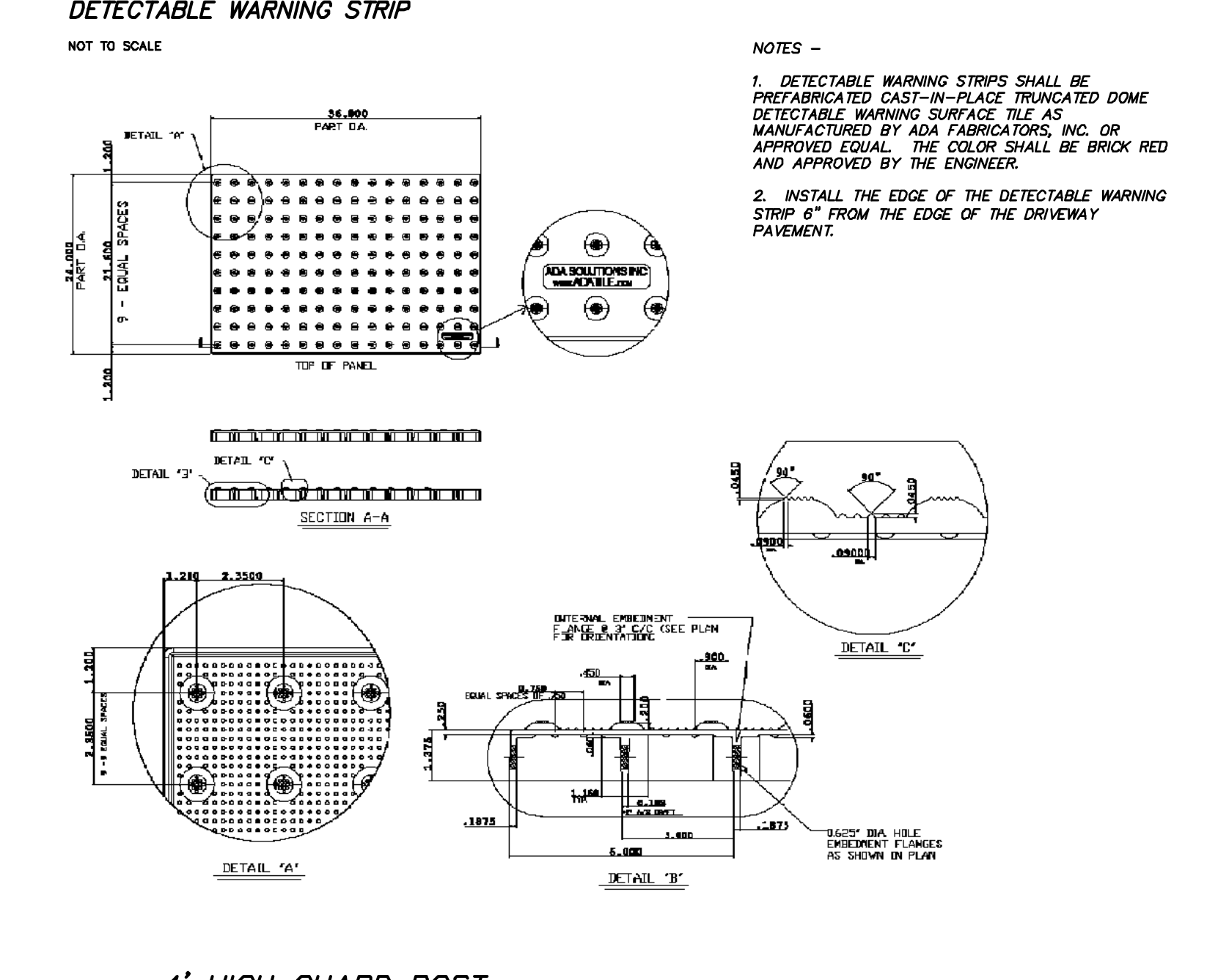
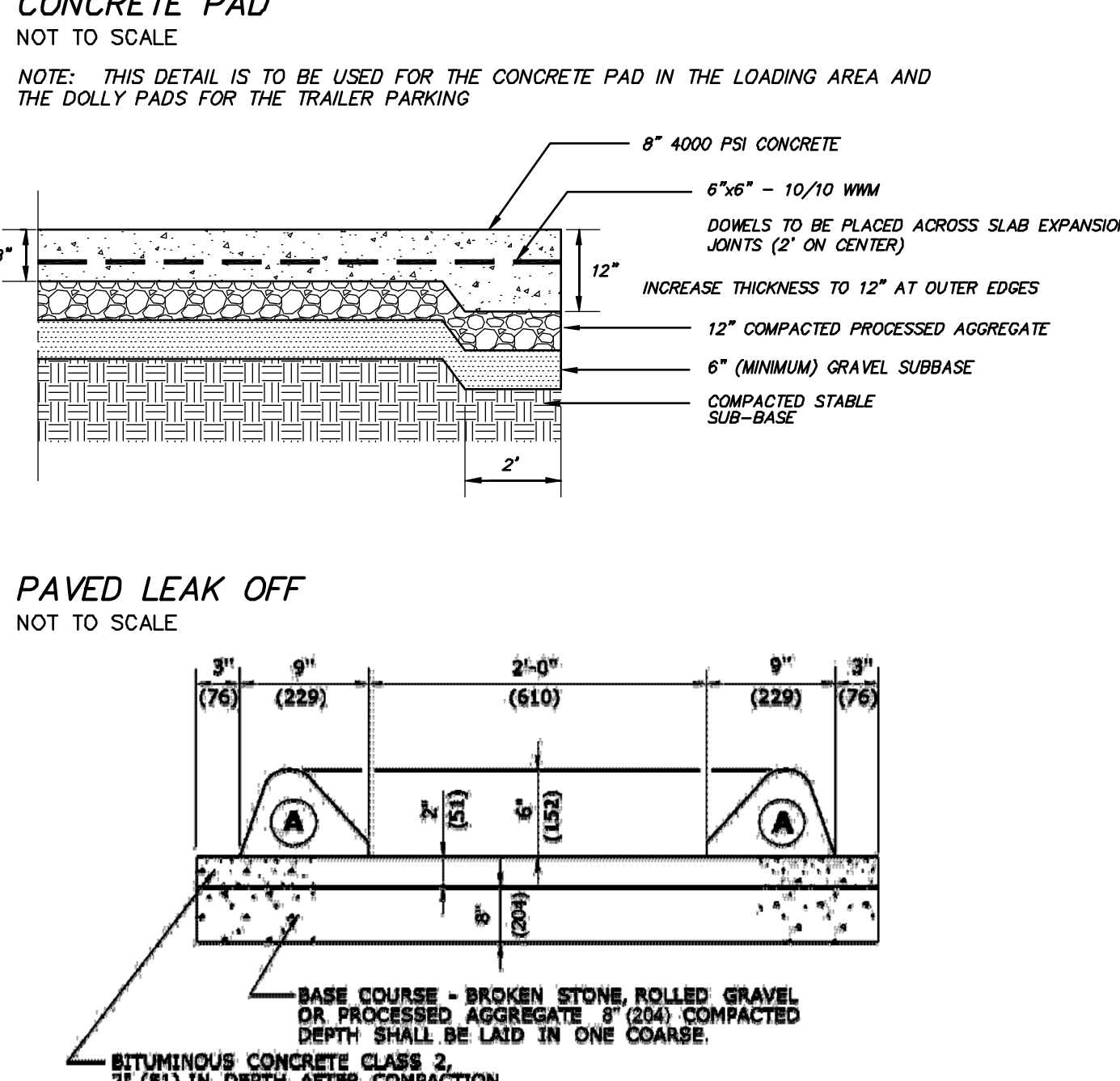
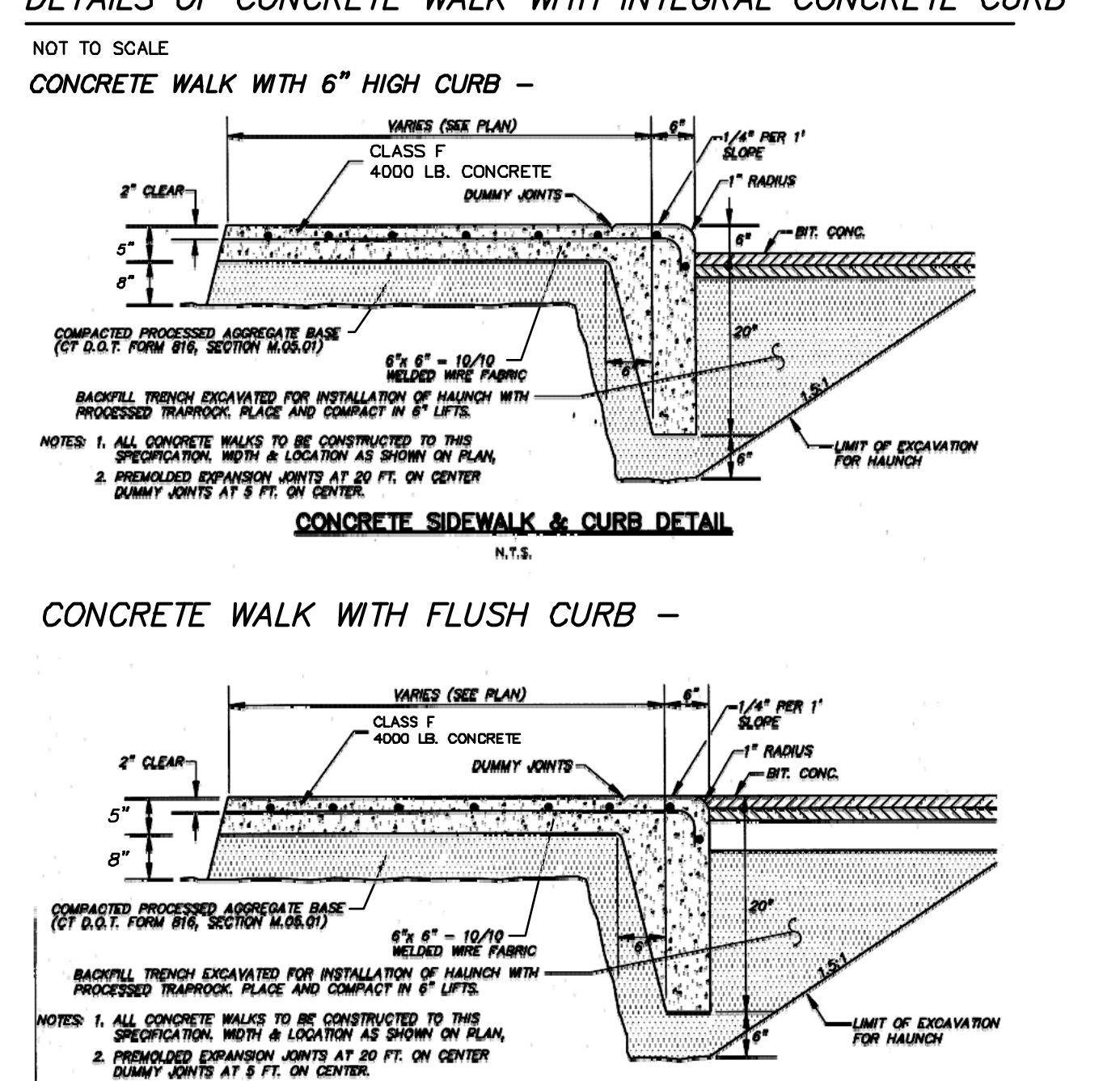
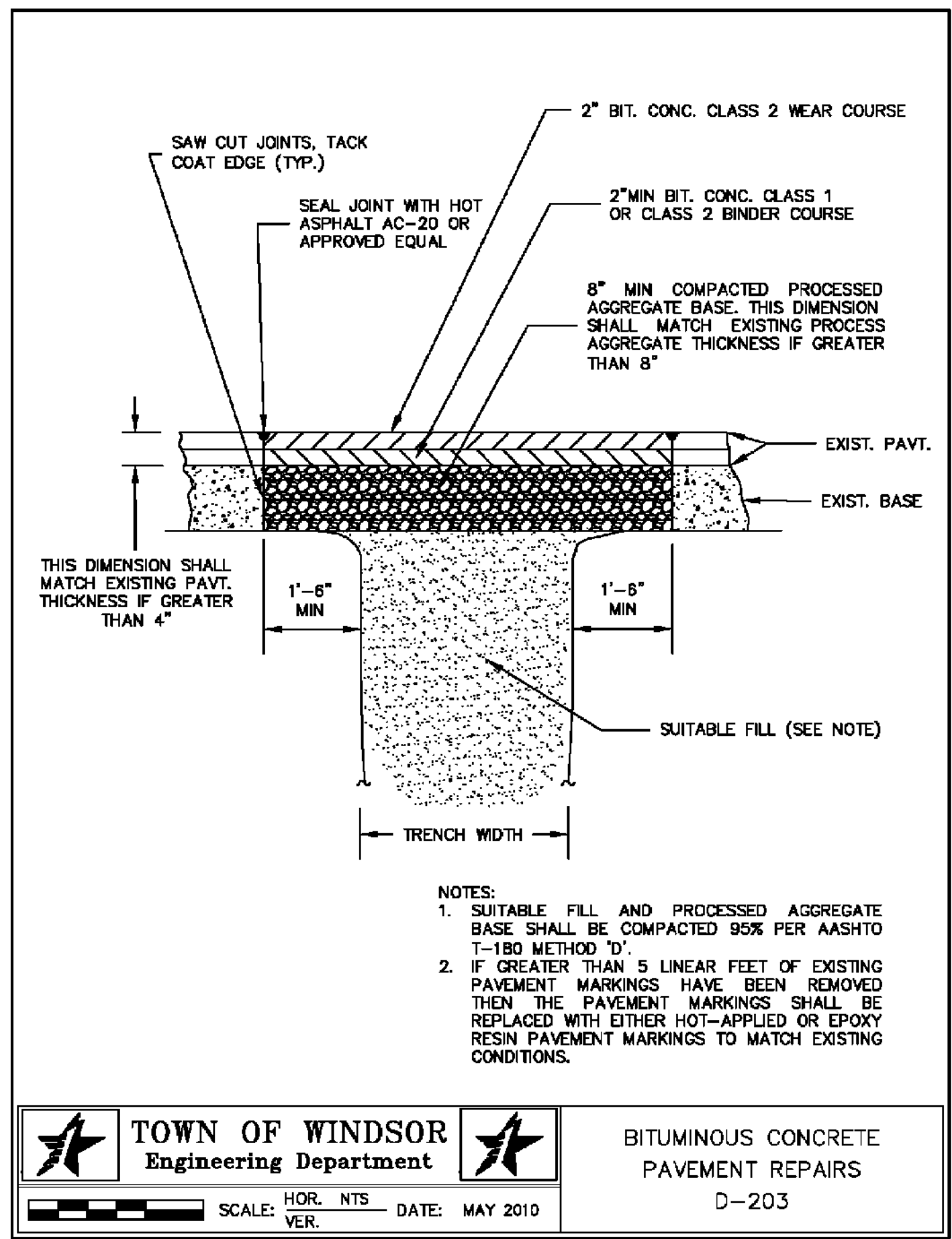
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, P.E. & L.S.

DATE: OCTOBER 18, 2023  
SCALE: 1 IN. = - FT.

**SITE PLAN**  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
**SITE AND LANDSCAPING NOTES AND DETAILS**

141 OLD POGONOCK ROAD AND 55 BAKER HOLLOW ROAD WINDSOR, CONNECTICUT

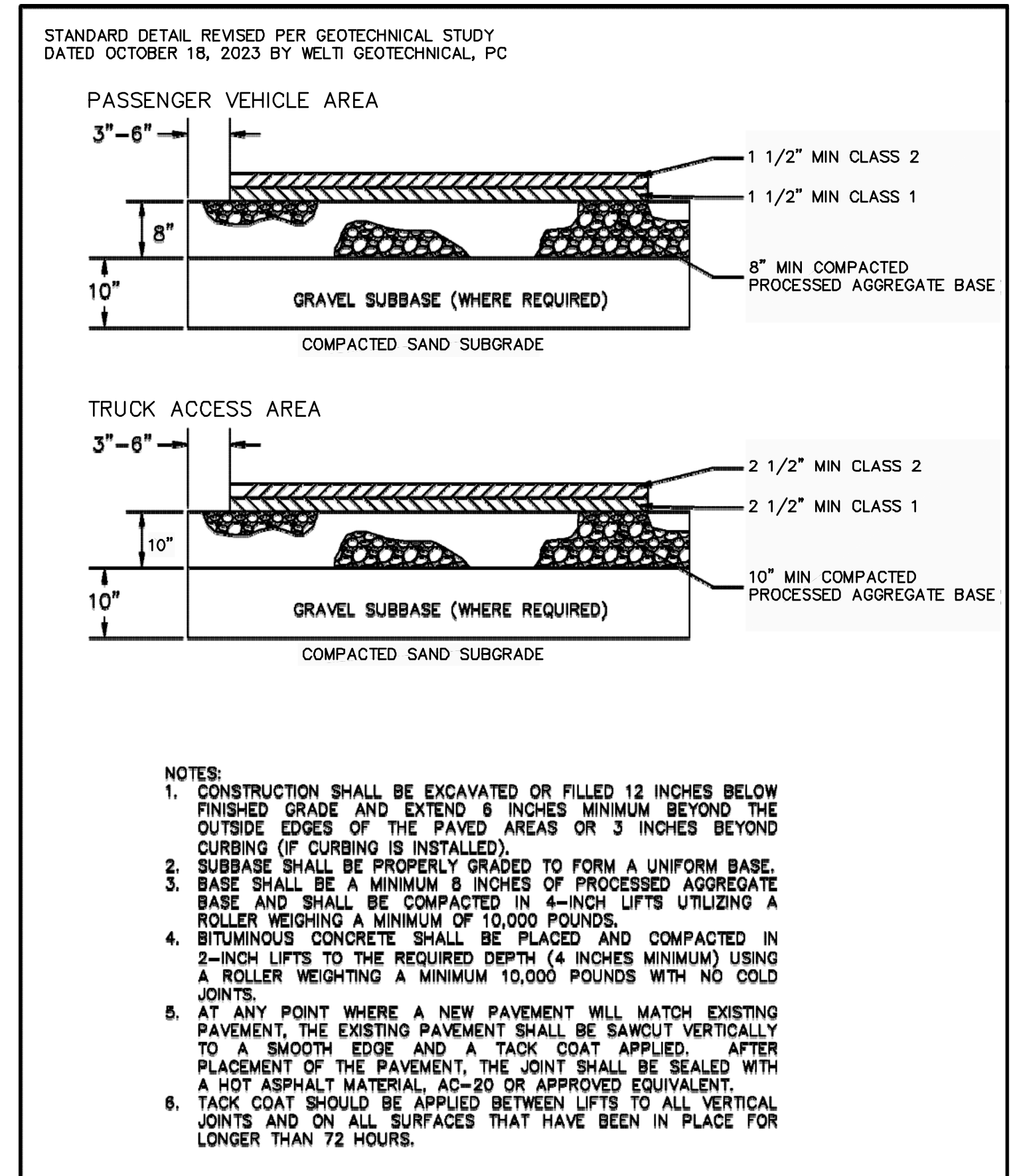
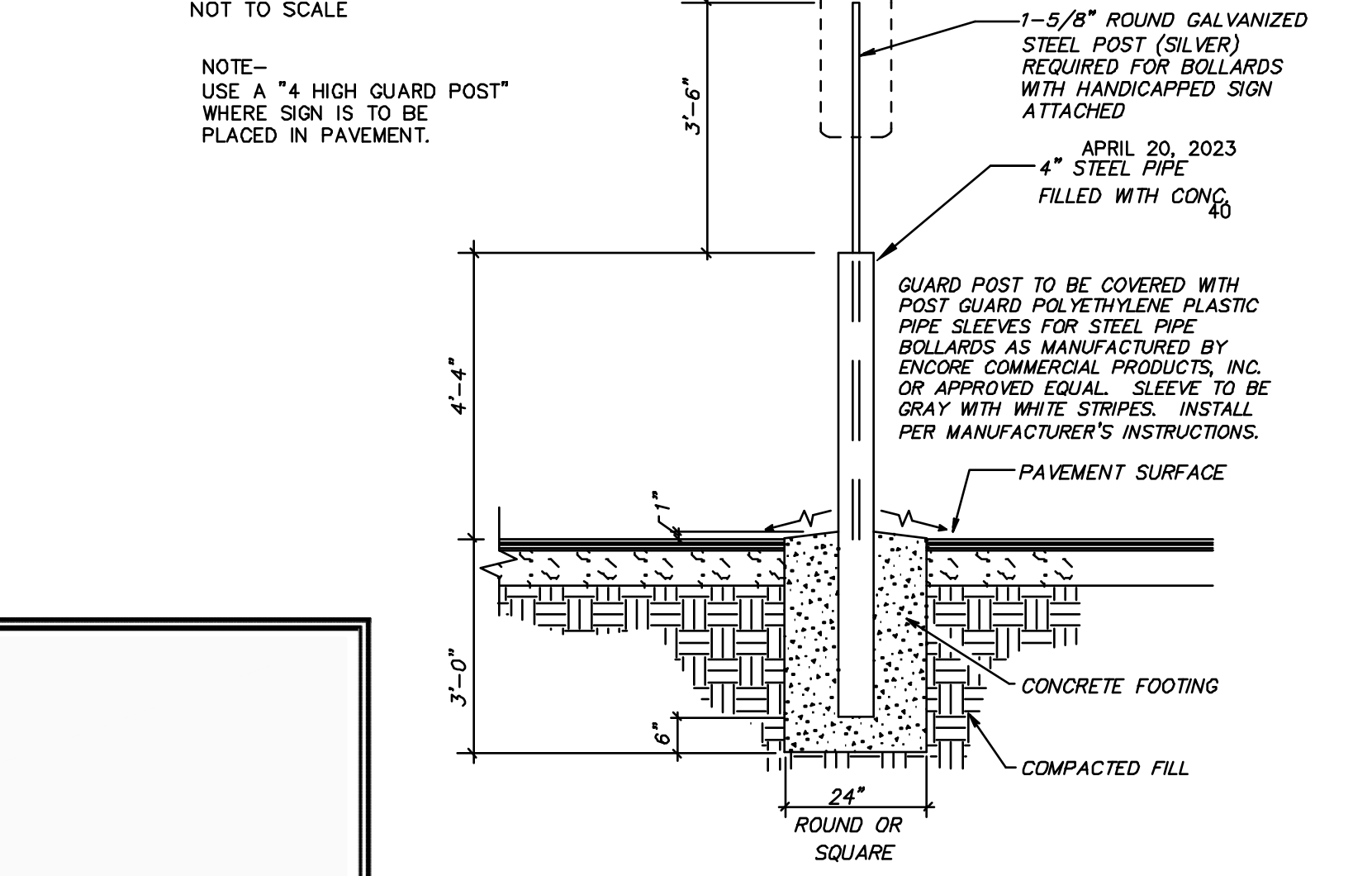
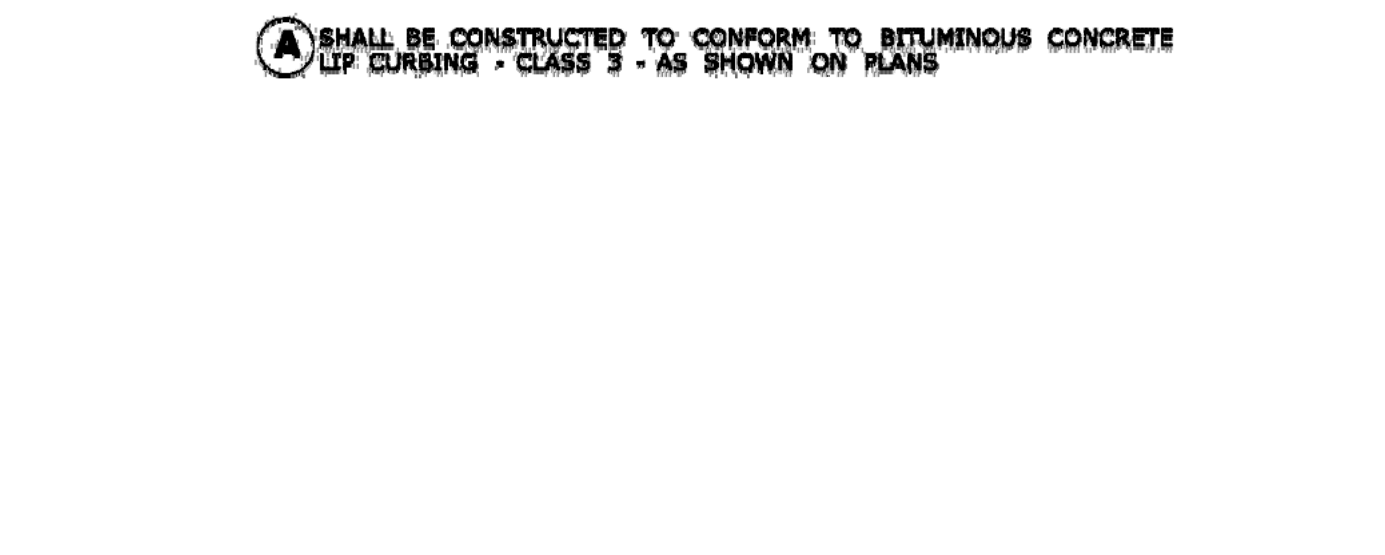
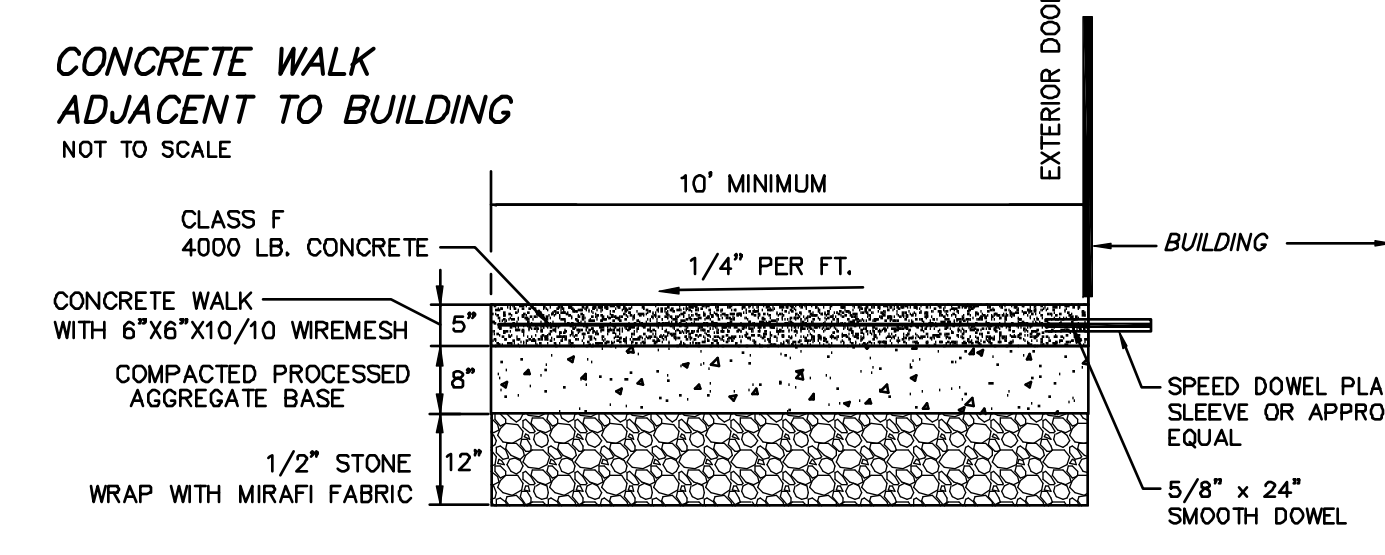
**Sheet C6.0**



**TOWN OF WINDSOR Engineering Department**

BITUMINOUS CONCRETE PAVEMENT REPAIRS D-203

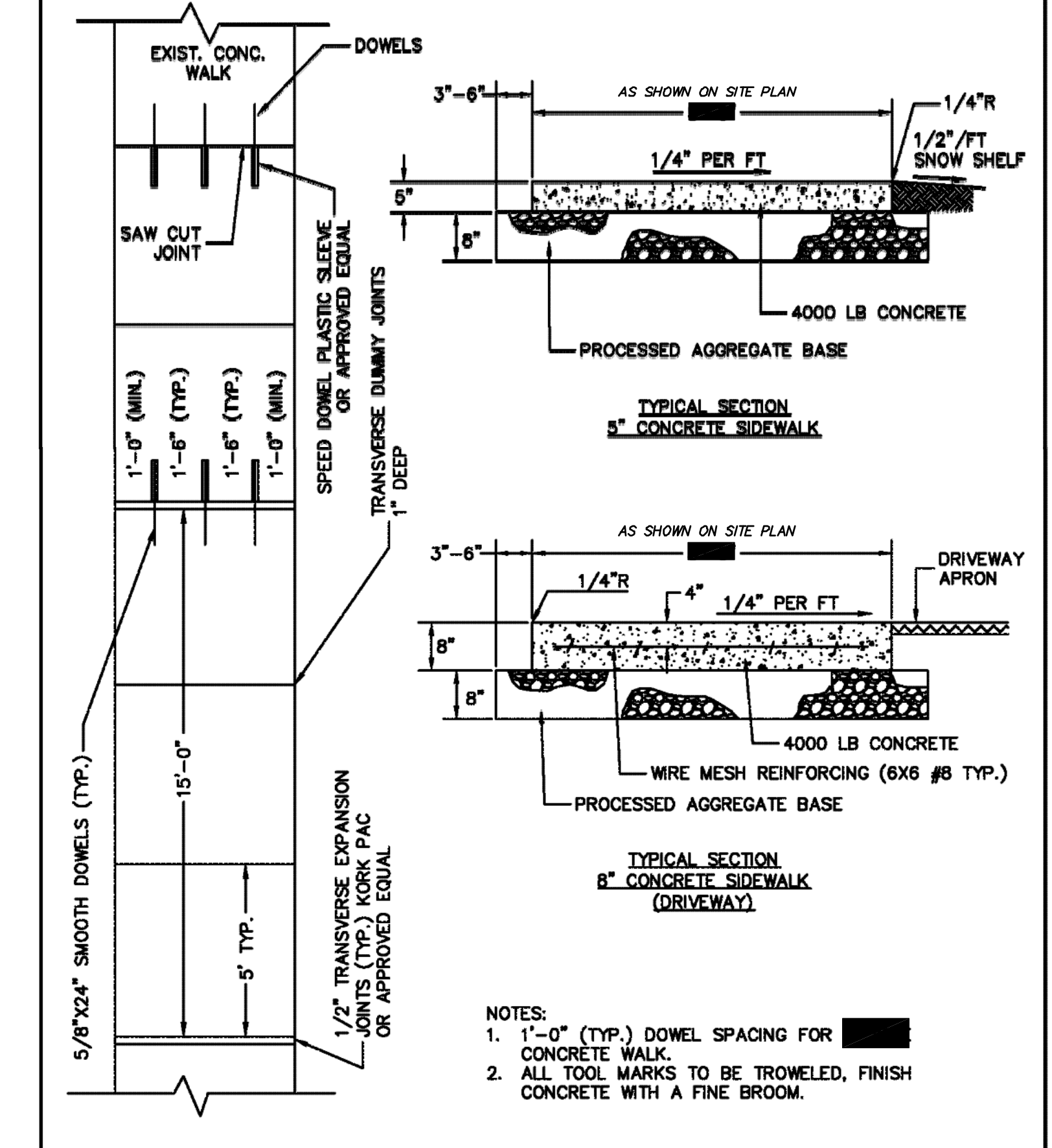
SCALE: HOR. N.T.S. DATE: MAY 2010  
VER.



**TOWN OF WINDSOR Engineering Department**

BITUMINOUS CONCRETE COMMERCIAL PARKING AREAS AND DRIVES D-210

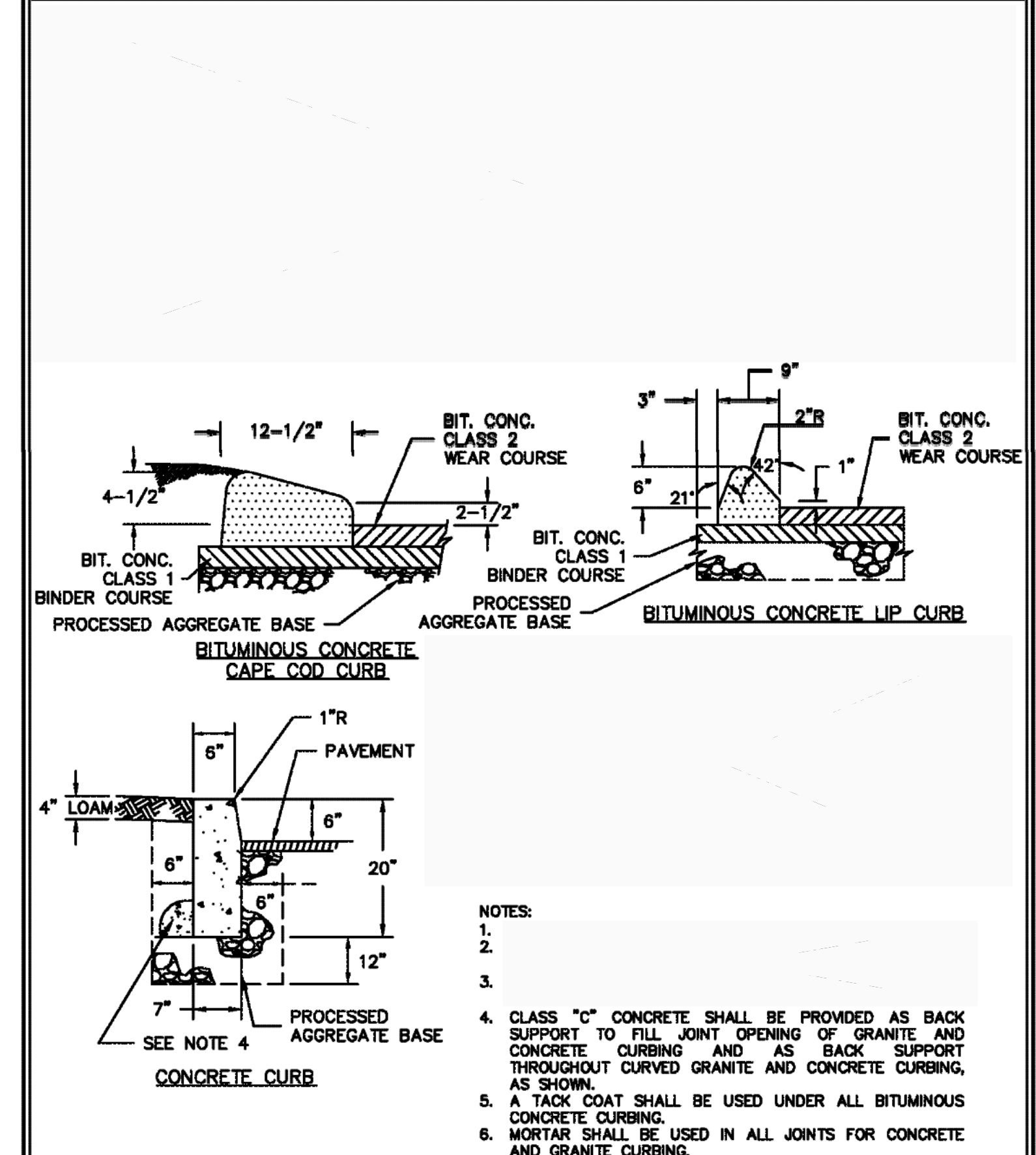
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VER.



**TOWN OF WINDSOR Engineering Department**

CONCRETE SIDEWALKS D-205

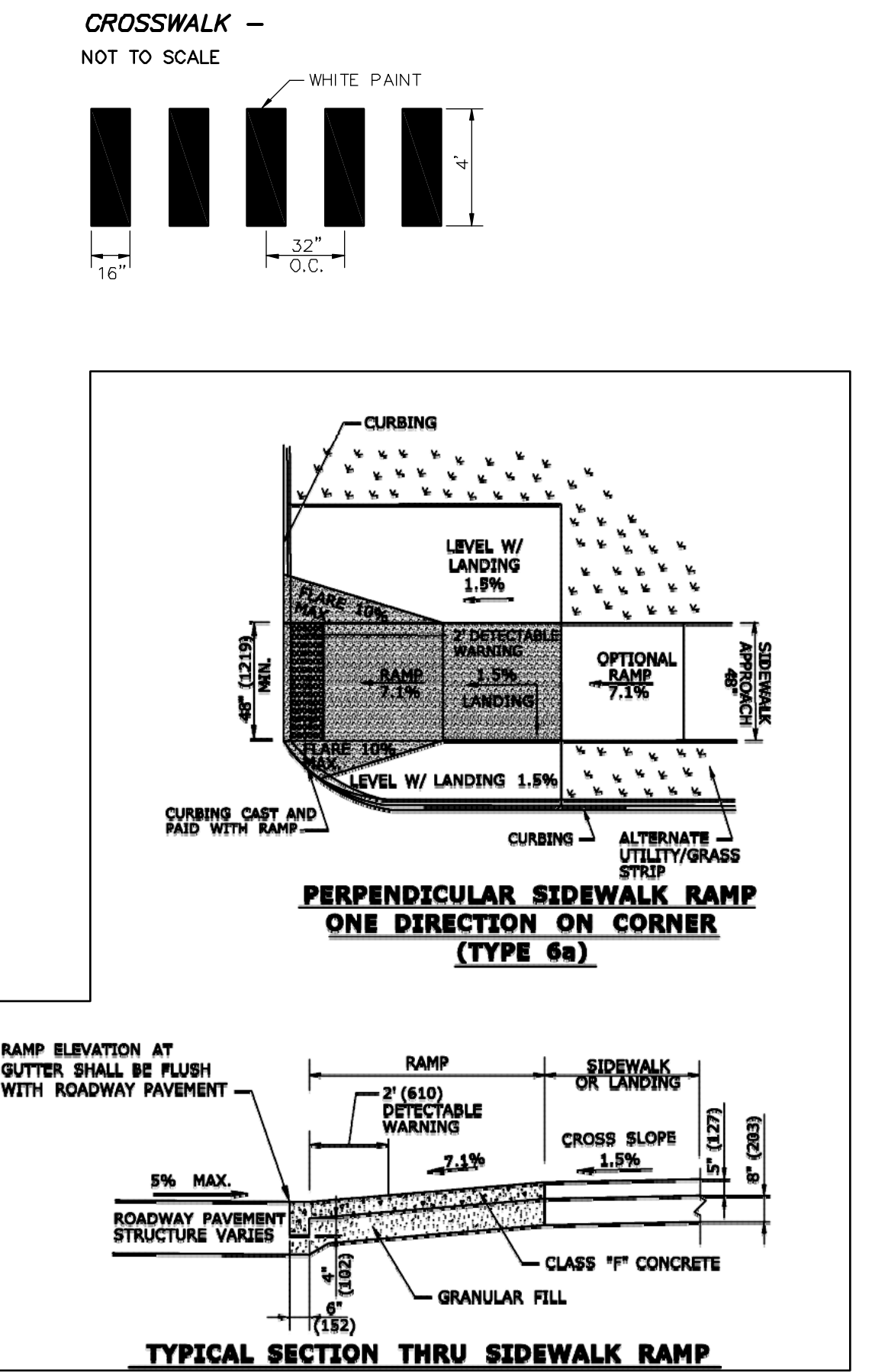
SCALE: HOR. N.T.S. DATE: MAY 2010  
VER.



**TOWN OF WINDSOR Engineering Department**

CURB TYPES D-204

SCALE: HOR. N.T.S. DATE: MAY 2010  
VER.



**TOWN OF WINDSOR Engineering Department**

CONCRETE SIDEWALKS D-205

SCALE: HOR. N.T.S. DATE: MAY 2010  
VER.

REVISION

DATE

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

**Alford ASSOCIATES, INC.**

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023  
SCALE: 1 IN. = - FT.

SITE PLAN  
PREPARED FOR  
Condryne Capital Partners, LLC  
SITE NOTES AND DETAILS

WINDSOR, CONNECTICUT

141 OLD POGGONOCK ROAD  
AND 55 BAKER HOLLOW ROAD

Sheet  
C6.1

**TEMPORARY & PERMANENT EROSION CONTROL BLANKETS**

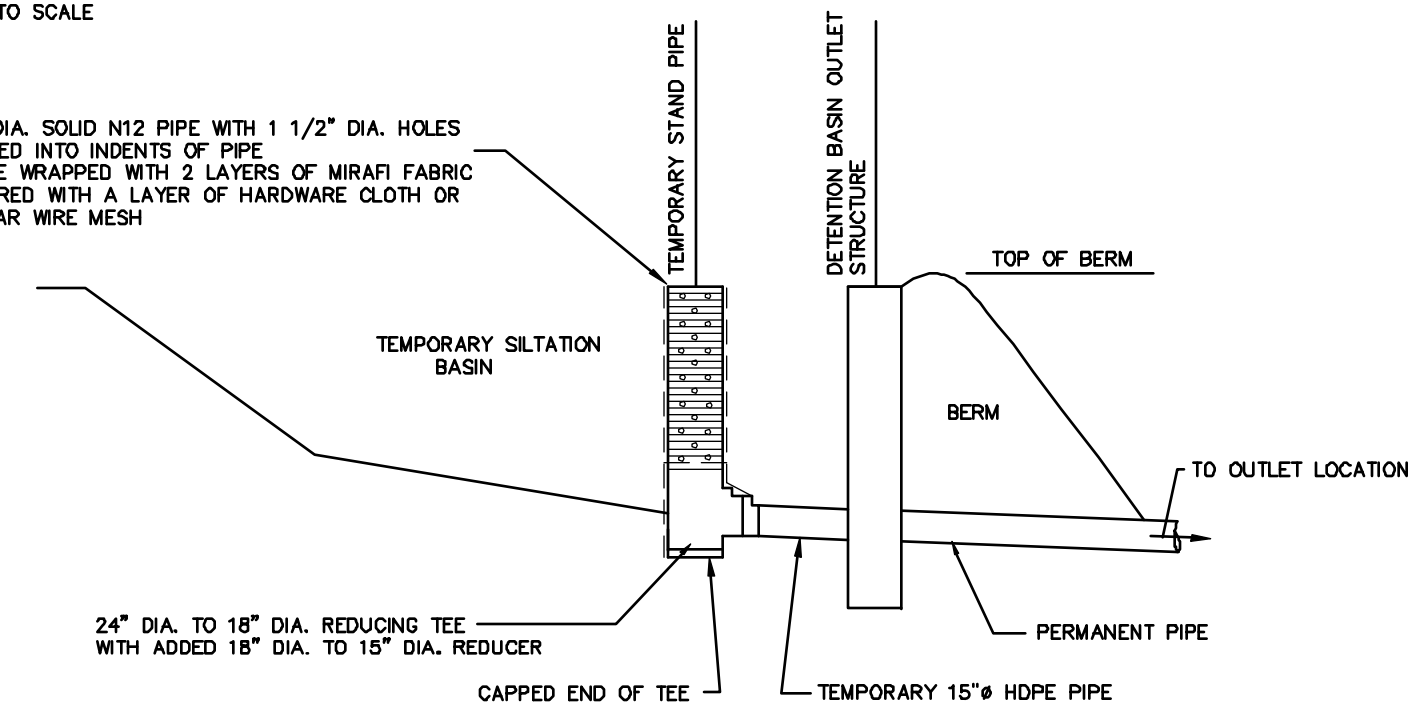


FOR PERMANENT EROSION CONTROL BLANKET, USE "LANDLOK 52" EROSION CONTROL BLANKET, AS MANUFACTURED BY PROPEX GEOSOLUTIONS OR APPROVED EQUAL.

PLACE A BIODEGRADABLE EROSION CONTROL BLANKET ON SLOPES 3:1 AND GREATER (INCLUDING THE SLOPES OF THE DRAINAGE SWALES). WHEN INSTALLING, ENSURE THAT THE LAP JOINTS ARE SECURE, ALL EDGES ARE PROPERLY ANCHORED AND ALL STAKING/STAPLING PATTERNS FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.

**DETAIL OF TEMPORARY OUTLET PIPE**

NOT TO SCALE



**STORM DRAINAGE MAINTENANCE SCHEDULE**

MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

**MAINTENANCE SCHEDULE:**

- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.

CATCH BASINS: ALL BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF SEDIMENT, TRASH AND DEBRIS. ALL CATCH BASINS SHALL BE INSPECTED ANNUALLY BETWEEN MAY 1st AND SEPTEMBER 15th AND SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED MATERIAL EXCEEDS 1 FOOT. ACCUMULATED SAND, DIRT AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.

- STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION.

- WATER QUALITY BASINS AND SWALES; BASINS AND SWALES SHALL BE INSPECTED ANNUALLY FOR EVIDENCE OF EROSION. UNDERCUT OR ERODED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF DOCUMENTATION.

- REFER TO THE LATEST EDITION OF THE CONNECTICUT GUIDELINES FOR STORMWATER QUALITY MANAGEMENT, AS WELL AS THE TOWN'S STORMWATER MANUAL AS AMENDED, AND THE TOWN'S ENGINEERING STANDARDS AND SPECIFICATIONS AS AMENDED, FOR THE PROPER IMPLEMENTATION OF STORMWATER MANAGEMENT.

**SUMMARY OF CONSERVATION PRACTICES**

**TEMPORARY MEASURES DURING CONSTRUCTION**

1. CONSTRUCTION ENTRANCE PADS
2. MIRAFI FABRIC FENCE TO BE PLACED IN AREAS AS SHOWN ON THE PLAN
3. DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
4. ALL LITTER AND DEBRIS TO BE PICKED UP ON A DAILY BASIS
5. ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER
6. DISTURBED SURFACE WATER WILL BE COLLECTED IN A TEMPORARY SEDIMENT BASIN

**PERMANENT MEASURES ONCE SITE IS DEVELOPED**

1. ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
2. ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
3. BASINS WILL SERVE THE SITE STORM DRAINAGE.

**GENERAL NOTES FOR NARRATIVE**

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
2. ALL SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
3. A STOCKPILE OF CRUSHED STONE, GEOTEXTILE SILT FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
4. GEOTEXTILE SILT FENCE SHALL BE KEPT ON-SITE IN THE EVENT OF AN EMERGENCY OR TOWN REQUEST FOR ADDITIONAL EROSION PROTECTION DURING CONSTRUCTION.
5. MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS OF ANY DEBRIS AND SEDIMENTS FROM THE CONSTRUCTION ACTIVITIES.
7. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL. IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE FENCE.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", CONNECTICUT DEP BULLITAN 34.
9. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
10. ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF WINDSOR'S "STORMWATER MANAGEMENT ORDINANCE".
11. THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF EMERGENCY EROSION OR SEDIMENTATION FAILURE.
12. AFTER A RAIN STORM, HAY BALES, GEOTEXTILE SILT FENCE AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
13. NO STUMPS SHALL BE BURIED ON THE SUBJECT PROPERTY.
14. WHEN ACTIVITIES HAVE STOPPED, DISTURBED AREAS MUST BE SEEDED WITH PERENNIAL RYE GRASS OR SIMILAR GROUND COVER.

**CONCRETE TRUCK WASHOUT NOTES:**

1. A SIGN IS TO BE INSTALLED ADJACENT TO THE WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
2. CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
3. TEMPORARY WASHOUT AREA SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
4. WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
5. CONCRETE SPOILS ARE TO BE REMOVED AFTER CURED.
6. WHEN THE CONCRETE WASHOUT AREA IS NO LONGER NEEDED, THE AREA IS TO BE RESTORED TO ORIGINAL EXISTING GRADE. PLACE A MINIMUM OF 10 INCHES OF TOPSOIL AND SEED PER VEGETATIVE COVER SCHEDULE.

**EROSION AND SEDIMENTATION CONTROL NARRATIVE**

1. THE SUBJECT PROPERTY IS APPROXIMATELY 37.0 ACRES OF AND IS LOCATED ON THE EAST SIDES OF BAKER HOLLOW ROAD AND OLD POGUNOCK ROAD IN WINDSOR, CONNECTICUT. THE NORTHERLY PORTION OF THE PROPERTY IS CURRENTLY BEING USED FOR A FILL REMOVAL OPERATION WITH THE REMAINING PROPERTY IS VACANT. AN UNNAMED PERENNIAL STREAM, TRIBUTARY TO MILL BROOK FLOWS WESTERLY ALONG THE SOUTHERN BORDER OF THE PROPERTY. THERE ARE WETLANDS LOCATED ON THE SUBJECT PROPERTY THAT ARE ASSOCIATED WITH THE STREAM. THE PROPERTY IS ZONED INDUSTRIAL (I). LAND USE IN THE VICINITY OF THE PROPERTY IS A SOCCER FACILITY, SOFTBALL FIELDS AND LIGHT INDUSTRIAL, INCLUDING A RECENTLY BUILT DISTRIBUTION-WAREHOUSE FACILITY IMMEDIATELY TO THE EAST.

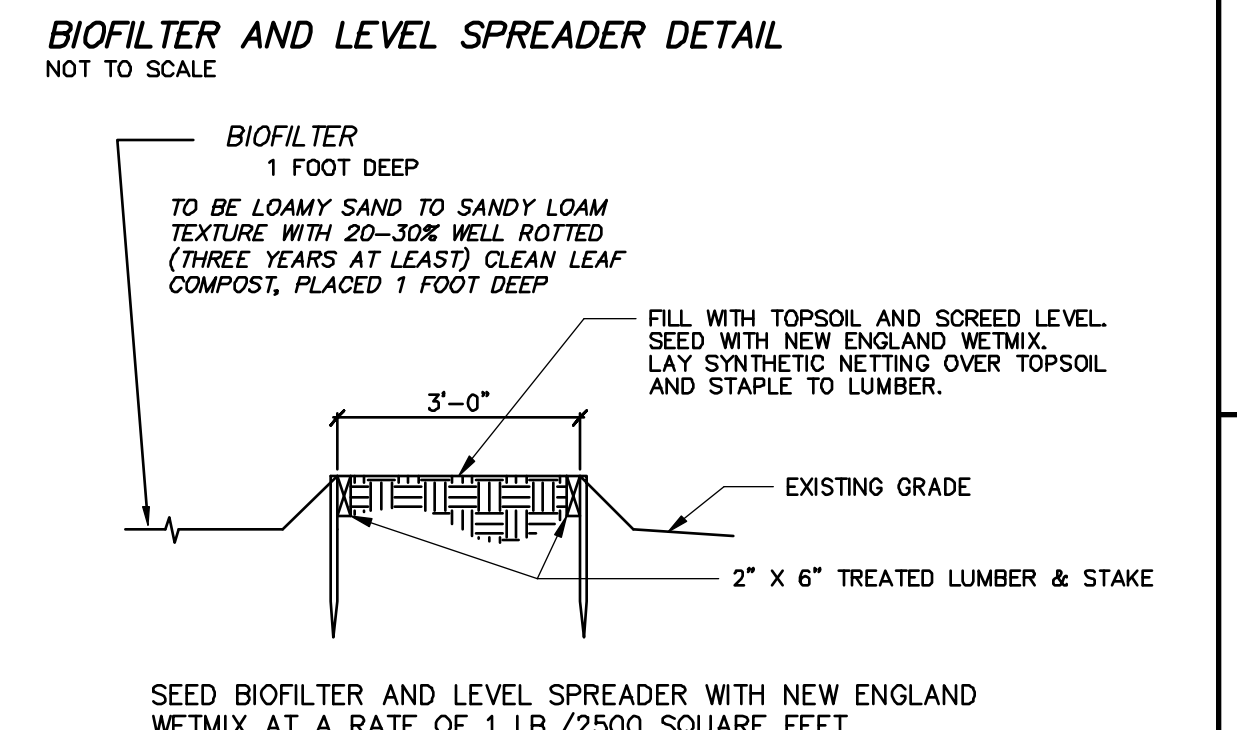
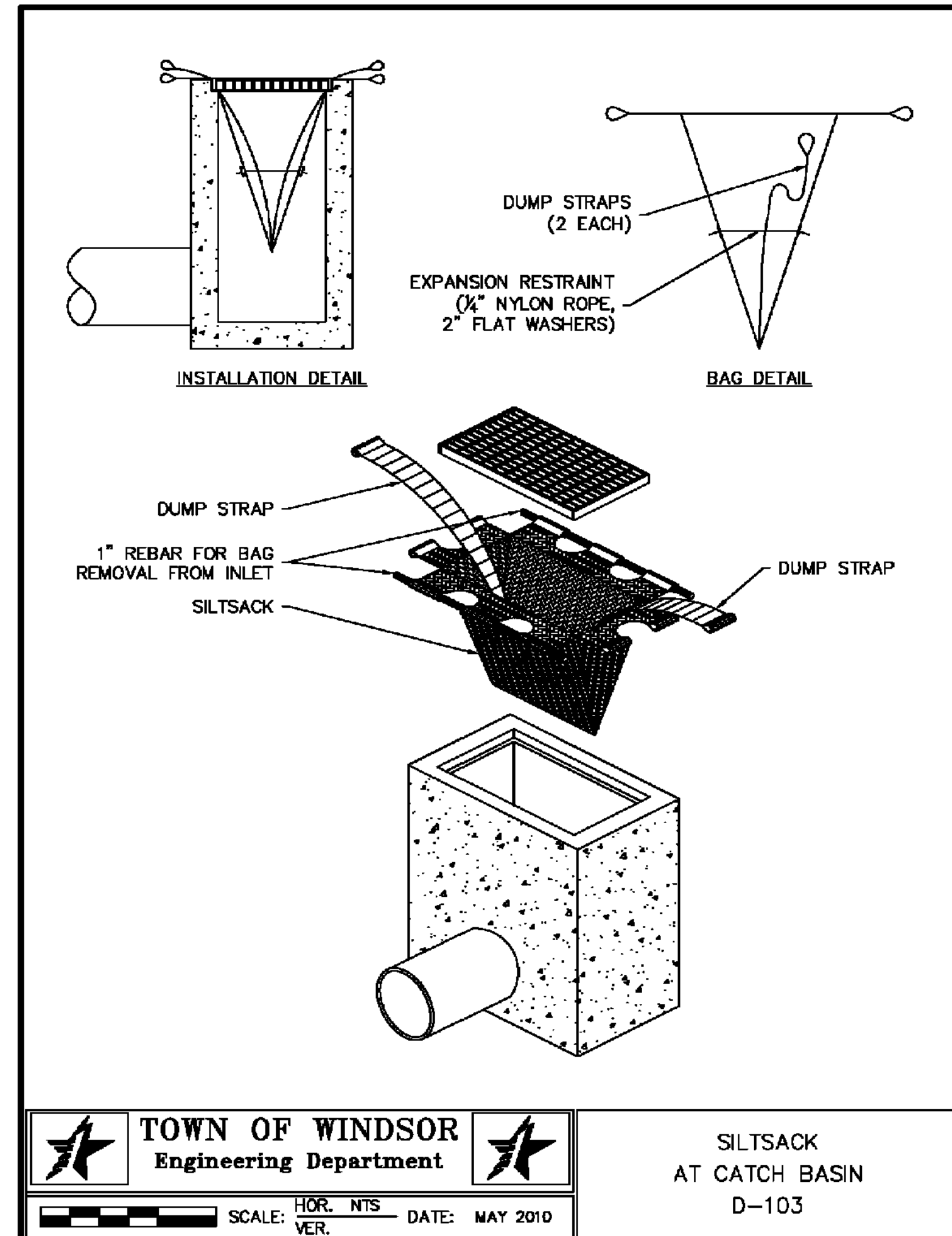
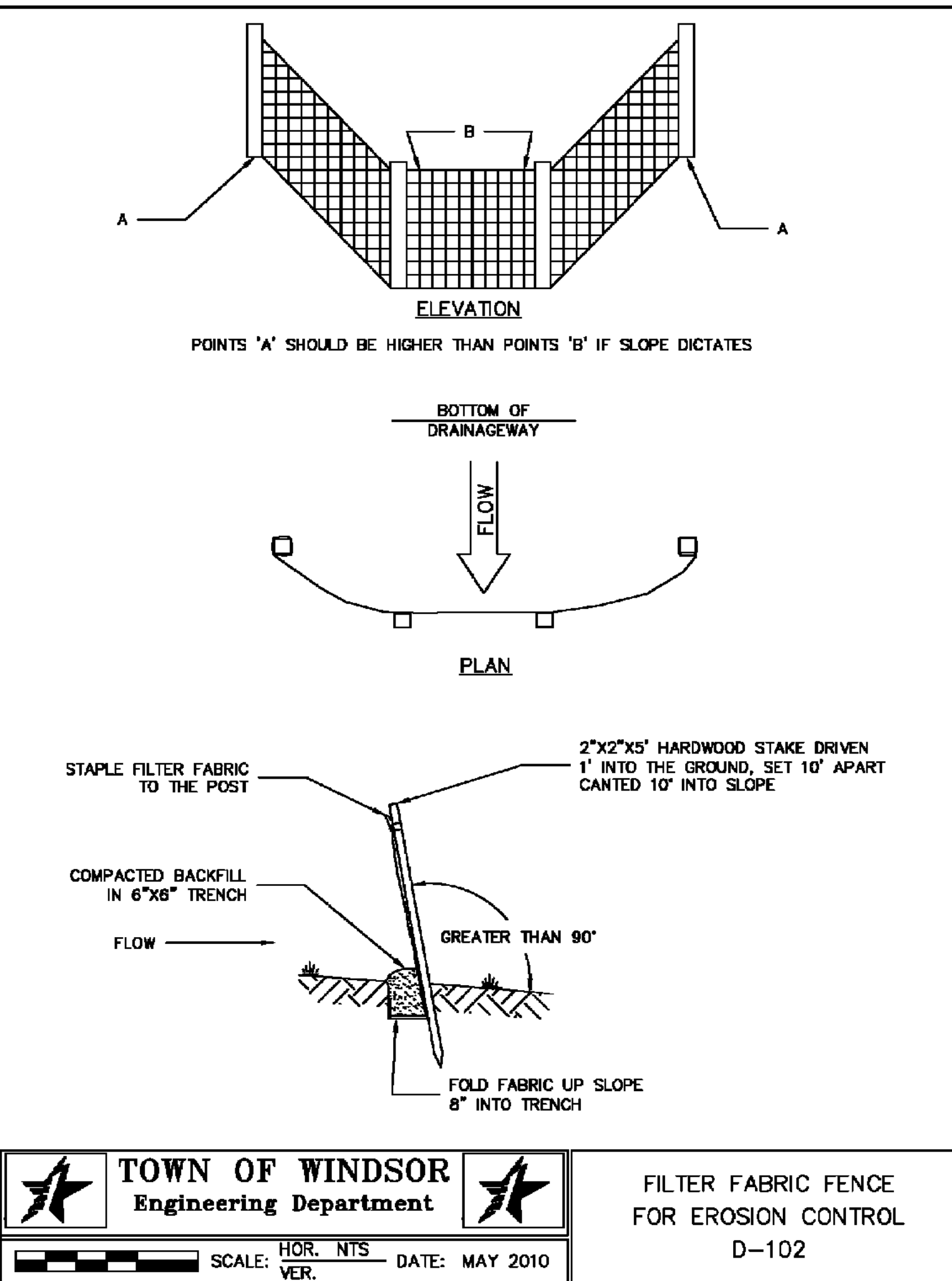
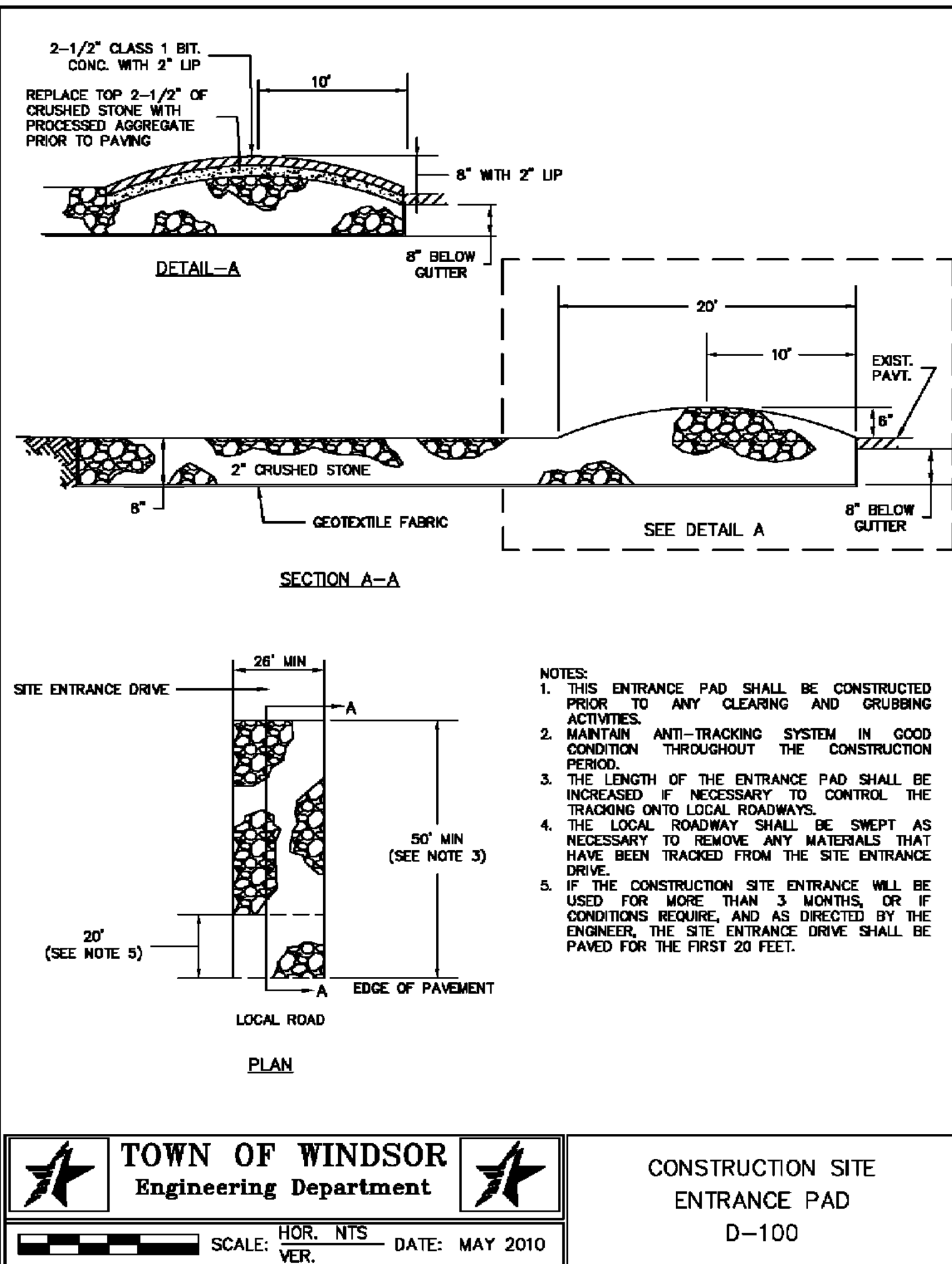
2. THE PROPOSAL IS TO CONSTRUCT TWO (2) BUILDINGS FOR APPROXIMATELY 420,000 SQUARE FEET OF MANUFACTURING-DISTRIBUTION WAREHOUSE FACILITY WITH ASSOCIATED PARKING, TRUCK LOADING, TRAILER PARKING, STORM DRAINAGE, DETENTION-WATER QUALITY BASINS AND UTILITIES. THE PROPOSAL ALSO INCLUDES SUBDIVIDING THE 37 ACRE PARCEL INTO TWO (2) LOTS WITH ONE BUILDING ON EACH LOT.

3. THE ANTICIPATED START OF CONSTRUCTION IS PLANNED FOR THE SPRING OF 2024 WITH FINAL COMPLETION IN APPROXIMATELY EIGHTEEN MONTHS.

**CONSTRUCTION SEQUENCE**

THE SEQUENCE OF GRADING AND CONSTRUCTION ACTIVITIES WILL BE AS FOLLOWS:

1. THE EXISTING CONSTRUCTION ENTRANCE PAD BEING USED FOR THE FILL REMOVAL OPERATION IS TO BE USED FOR THE START OF CONSTRUCTION. PRIOR TO ANY SITE WORK, INSPECT EXISTING CONSTRUCTION PAD AND REPAIR AS NECESSARY. PRIOR TO GRADING FOR PERMANENT SWALE IN BASIN #6, INSTALL NEW CONSTRUCTION ENTRANCE PAD SOUTH OF THE EXISTING ONE AND AS SHOWN ON THE PLAN. AFTER BAKER HOLLOW ROAD IS RELOCATED, INSTALL NEW CONSTRUCTION ENTRANCE PAD AT THE INTERSECTION OF THE COMMON DRIVEWAY OF THE FACILITY WITH RELOCATED BAKER HOLLOW ROAD. CONSTRUCTION ENTRANCE PADS TO BE INSPECTED AND MAINTAINED TO BE KEPT IN PROPER WORKING CONDITION THROUGHOUT THE DURATION OF BEING USED.
  2. CUT TREES AND BRUSH WITHIN THE AREAS OF CONSTRUCTION. STUMP AREAS OF BASINS #1, #2, #3 AND #4 AND REMOVE OFF SITE OR GRIND. STUMPS ARE NOT TO BE BURIED ON THE PROPERTY. DO NOT STUMP ANY OTHER CLEARED AREAS. GRIND TREES AND STOCKPILE WOOD CHIPS TO BE USED FOR GEOTEXTILE SILT FENCE BACKUP. WOOD CHIPS ARE NOT TO BE PLACED IN THE WETLANDS AREAS. REMOVE EXCESS CUT TREES AND BRUSH OFF SITE AND DISPOSE OF PROPERLY.
  3. INSTALL GEOTEXTILE SILT FENCE AND GEOTEXTILE SILT FENCE WITH WOOD CHIP BACK UP.
    4. CONSTRUCT BASINS #1, #2, #3 AND #4.
      - FOR EACH BASIN:
        - STRIP AND STOCKPILE TOPSOIL.
        - EXCAVATE, GRADE, TOPSOIL AND SEED BASIN FOR TEMPORARY COVER. WHERE INDICATED ON THE PLAN, BASIN TO BE EXCAVATED TO OUTLET STRUCTURE ELEVATION. SOIL BELOW THIS ELEVATION SHALL NOT BE DISTURBED.
        - FOREBAY TO BE GRADED AFTER SITE CONSTRUCTION AND WHEN CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
        - INSTALL APPURTENANT PERMANENT STORM OUTLET STRUCTURES, OUTLET AND CONNECTING PIPE.
          - PLACE RIP RIP PLUNGE POOL WHERE OUTLET PIPE DISCHARGES.
          - INSTALL TEMPORARY OUTLET PIPE WITHIN BASIN.
        - DURING SITE CONSTRUCTION, BASIN SHALL FUNCTION AS A TEMPORARY SEDIMENT BASIN. AS NEEDED, TEMPORARY SEDIMENT BASIN SHALL BE CLEANED OF ACCUMULATED SILT AND SEDIMENT SO THAT BASIN WILL FUNCTION PROPERLY THROUGHOUT THE DEVELOPMENT.
      5. WHERE SHOWN ON PLAN, CONSTRUCT TEMPORARY SWALES. FILL AS NECESSARY TO GRADE SWALES TOWARDS ADJACENT BASIN.
      6. STUMP, STRIP AND STOCKPILE TOPSOIL FROM BUILDING AND OTHER AREAS OF PROPOSED IMPROVEMENTS. PLACE GEOTEXTILE SILT FENCE AROUND STOCKPILED AREAS. PILLS ARE TO BE SEEDED FOR TEMPORARY VEGETATION IF PILE IS TO REMAIN MORE THAN 30 DAYS. STUMPS ARE TO BE REMOVED FOR THE PROPERTY AND DISPOSED OF PROPERLY. STUMPS ARE NOT TO BE BURIED ON THE PROPERTY.
      7. GRADE THE AREAS OF THE PROPOSED IMPROVEMENTS.
      8. CONSTRUCT BUILDINGS.
      9. INSTALL STORM DRAINAGE.
        - PLACE SILT SACK IN THE TOP OF NEW CATCH BASINS. AREAS AROUND NEW CATCH BASIN TIPS ARE TO BE DEPRESSED. THROUGHOUT CONSTRUCTION, CARE SHALL BE TAKEN TO KEEP DISTURBED SURFACE WATER FROM ENTERING THE CATCH BASINS.
      10. CONSTRUCT UTILITIES, PAVEMENT AREAS AND OTHER SITE IMPROVEMENTS.
      11. INSTALL PLANT MATERIAL.
      12. LOAM AND SEED FOR PERMANENT COVER. IF PERMANENT COVER IS NOT DESIRED AT THE TIME OF THE SEEDING, USE TEMPORARY SEEDING PER VEGETATIVE COVER SCHEDULE.
      13. WHEN ALL CONTRIBUTING AREAS HAVE STABILIZED, ACCUMULATED SEDIMENT TO BE REMOVED FROM BASINS. REMOVE TEMPORARY OUTLET STRUCTURE AND PIPE. BLOCK AND SEAL PENETRATION INTO STRUCTURE. REMOVE SILT FENCE. PLACE TOPSOIL AND SEED.
      14. THROUGHOUT CONSTRUCTION AND AT LEAST ONCE A WEEK, INSPECT GEOTEXTILE SILT FENCE, OTHER EROSION CONTROL MEASURES AND TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. GEOTEXTILE SILT FENCE IS TO REMAIN IN PROPER WORKING ORDER UNTIL ALL VEGETATIVE COVER HAS BEEN ESTABLISHED. BEFORE REMOVAL OF ANY SILT FENCE, EXISTING ACCUMULATED SILT IS TO BE REMOVED AND DISPOSED OF PROPERLY. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED TO ESTABLISH PERMANENT COVER.
      16. THE OWNER OF THE PROPERTY AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.



REVISION

DATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

**Alford ASSOCIATES, INC.**

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON R. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

SCALE: 1 IN. = - FT.

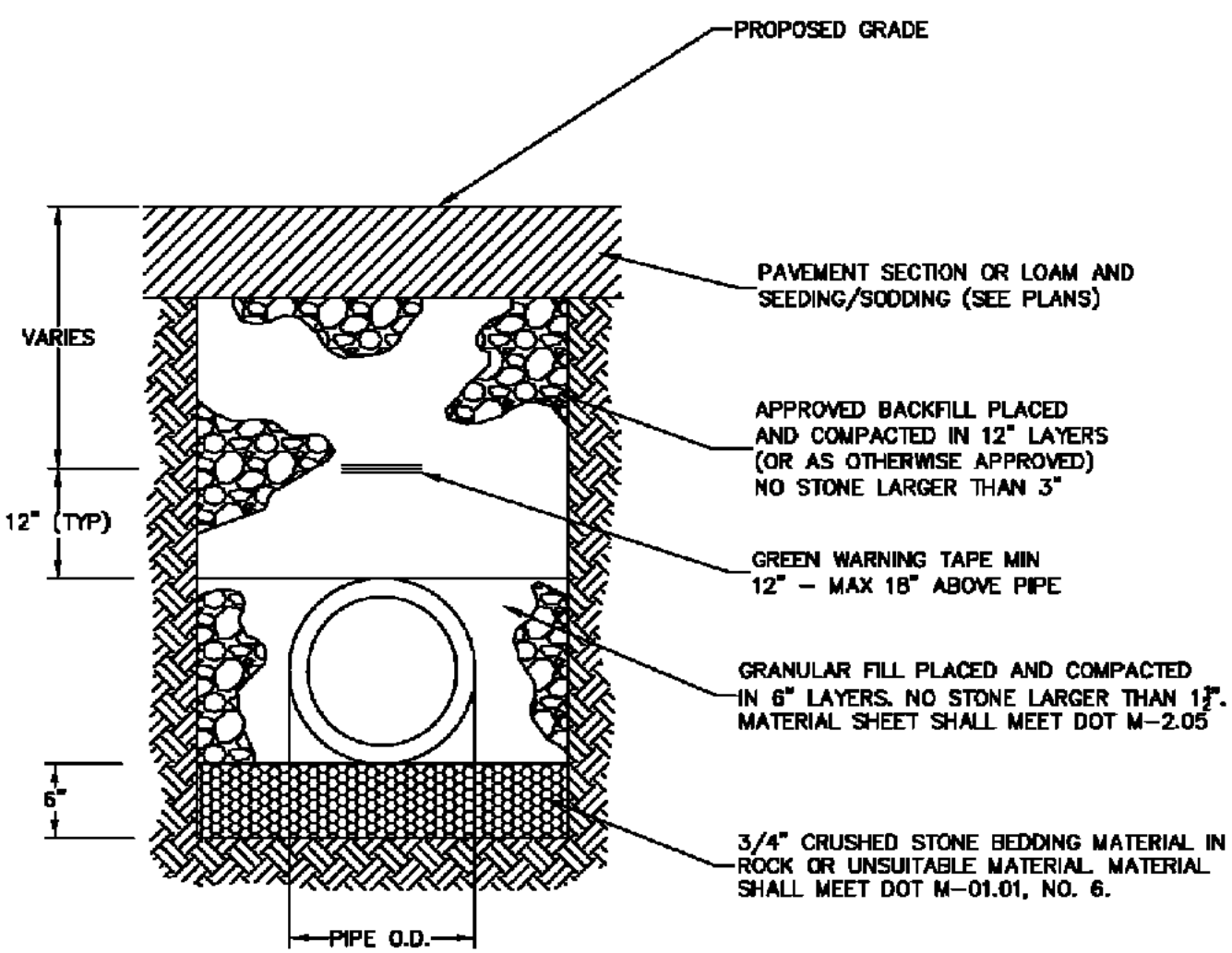
SITE PLAN  
PREPARED FOR  
Condyne Capital Partners, LLC  
EROSION & SEDIMENTATION CONTROL  
NOTES AND DETAILS

WINDSOR, CONNECTICUT

141 OLD POGUNOCK ROAD AND 55 BAKER HOLLOW ROAD

Sheet  
C6.2

SS: M-NOTES P: C210125P D: C230355P-M FOLDER: Thrall\_OJ-Baker Hollow\2023-55 Baker Hollow

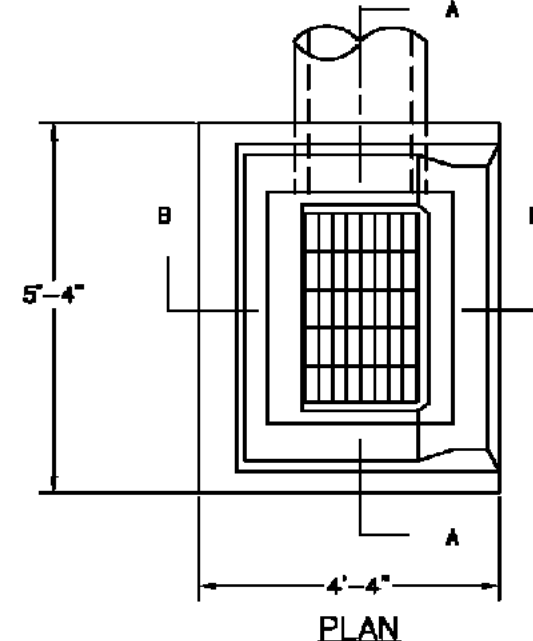


- NOTES:
1. ALL CONCRETE PIPE TO BE MINIMUM CLASS IV UNLESS OTHERWISE SPECIFIED.
  2. USE WATERTIGHT GASKETS IN ALL PIPE JOINTS.

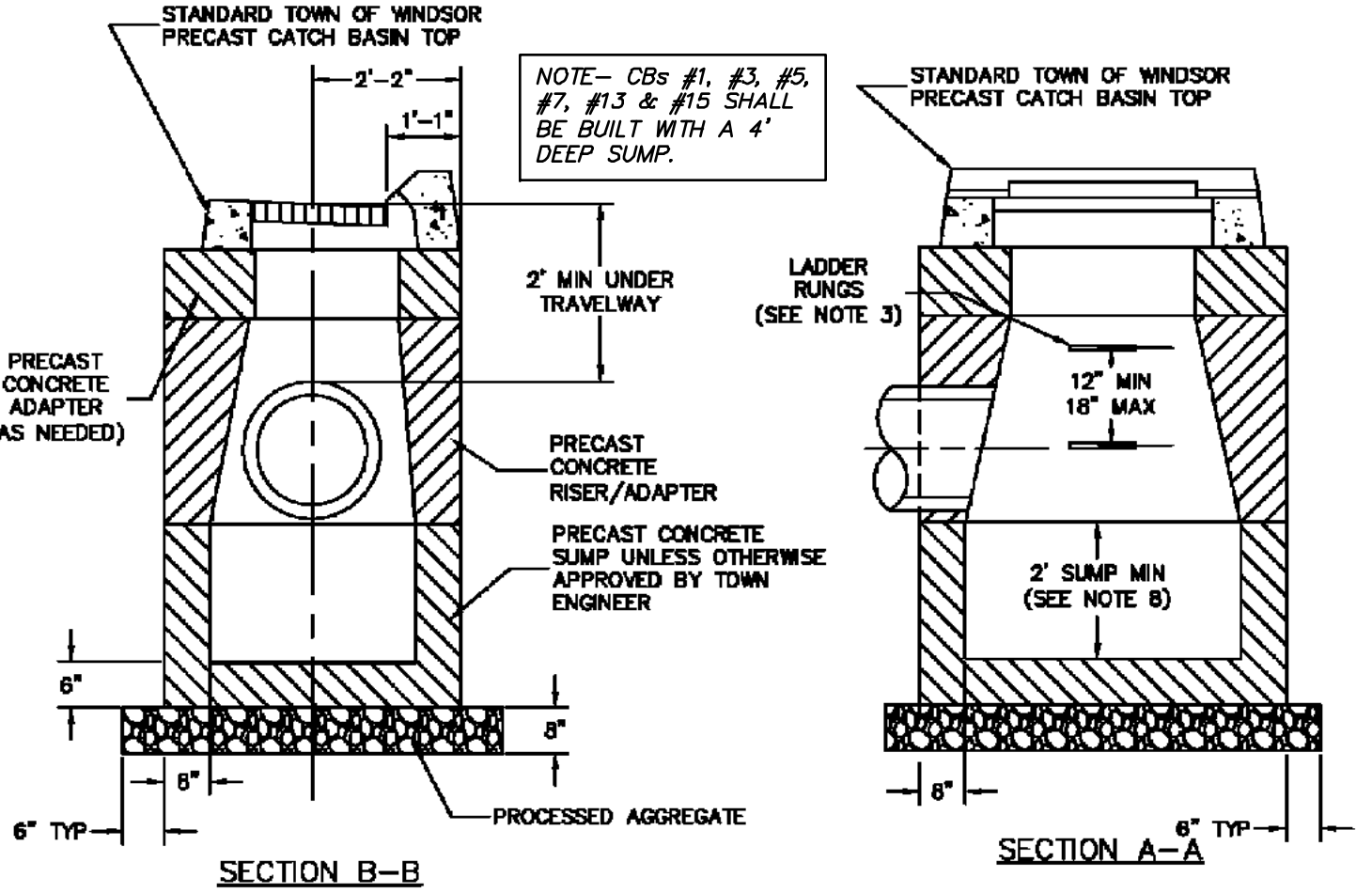
**TOWN OF WINDSOR**  
Engineering Department

DRAINAGE TRENCH  
D-300

SCALE: HOR. NTS. DATE: MAY 2010  
VER.



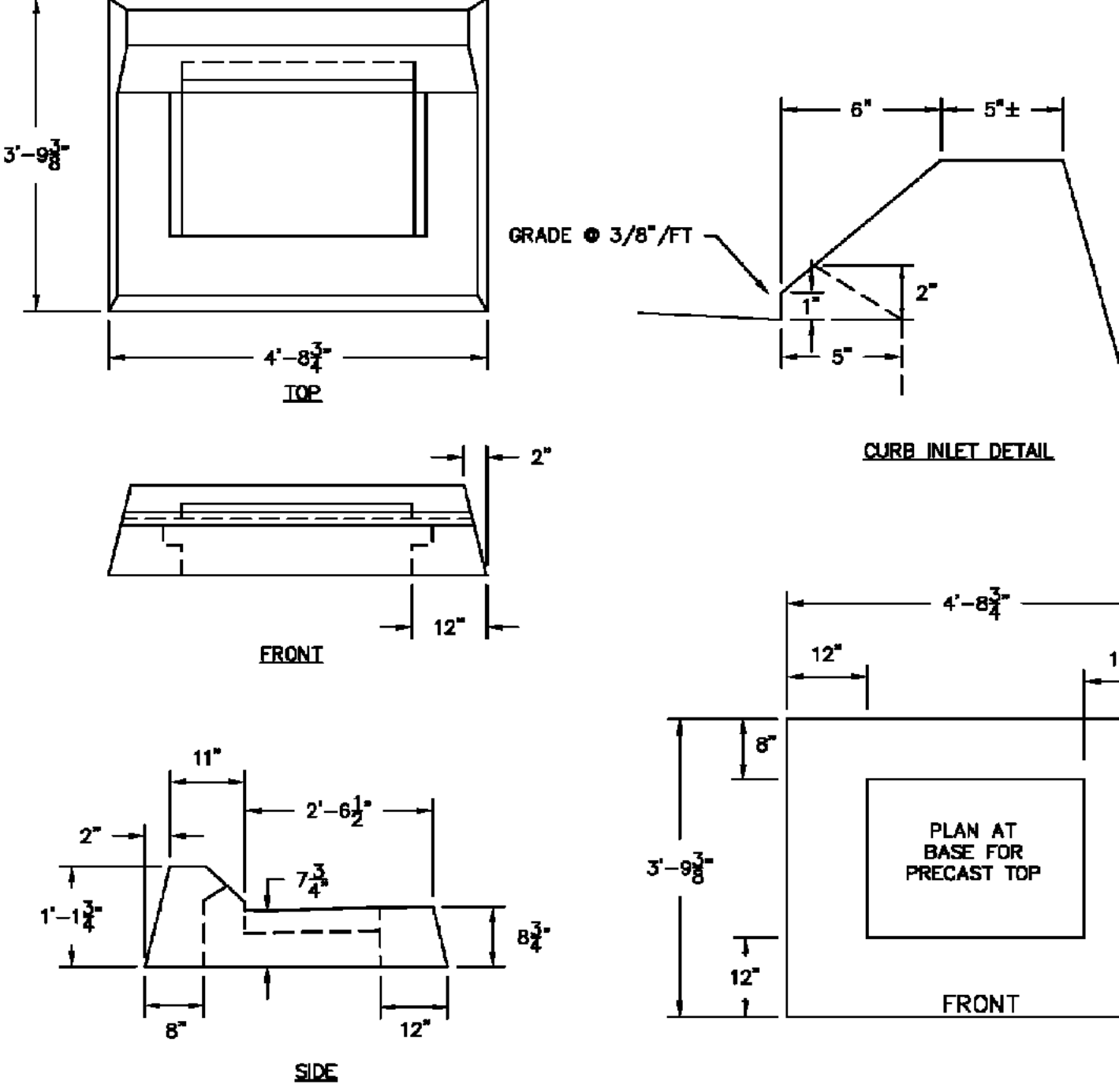
- NOTES:
1. ENDS OF PIPES SHALL EXTEND TO AND BE CUT FLUSH WITH INSIDE FACE OF CATCH BASIN. APPLY MORTAR TO OUT EDGE OF PIPE TO COVER REINFORCING.
  2. RED BRICK IS NOT TO BE USED.
  3. LADDER RUNGS SHALL BE INSTALLED IN ALL CATCH BASINS WHEN THE DEPTH OF THE STRUCTURE FROM THE TOP OF FRAME TO THE LOWEST FLOW LINE EXCEEDS 4 FEET. RUNGS SHALL CONFORM TO FORM B16 SECTION M DR.02.5.
  4. ANY OVER EXCAVATION SHALL BE REPLACED WITH PROCESSED AGGREGATE BASE, MEDIUM GRADATION, OR 3/4\"/>



**TOWN OF WINDSOR**  
Engineering Department

CATCH BASIN TYPE "C"  
PRECAST CONCRETE  
D-302

SCALE: HOR. NTS. DATE: MAY 2010  
VER.

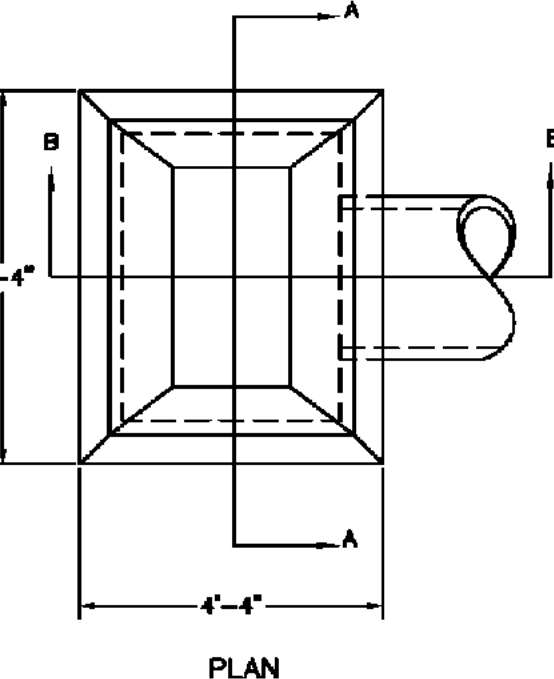


- NOTES:
1. ALL DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO SUBMIT MANUFACTURERS' SHOP DRAWINGS OF SPECIFIC PRODUCT FOR APPROVAL BY THE ENGINEER.
  2. A 3'-0 3/4\"/>

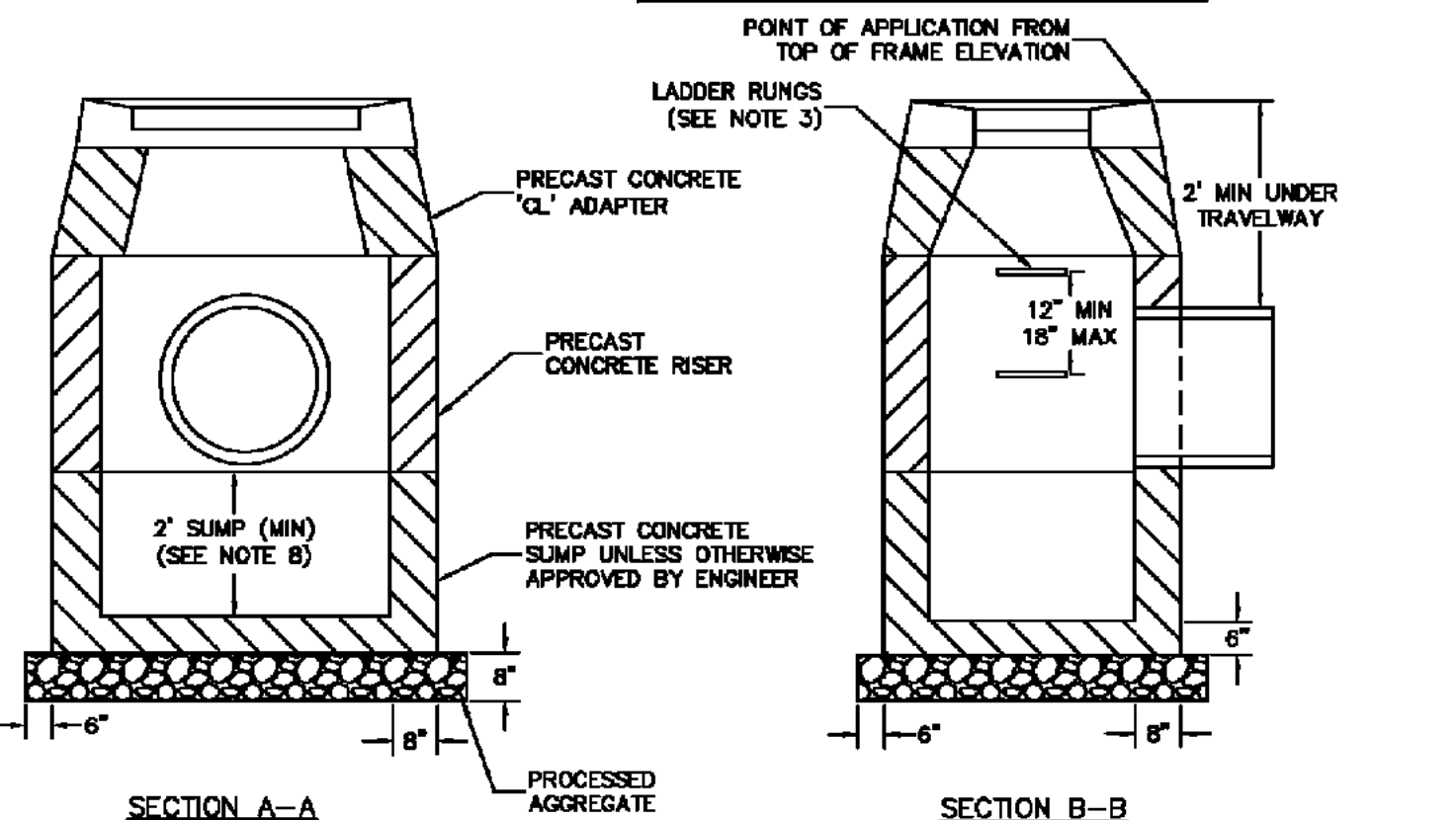
**TOWN OF WINDSOR**  
Engineering Department

CATCH BASIN TOP  
TYPE "C" PRECAST CONCRETE  
D-304

SCALE: HOR. NTS. DATE: MAY 2010  
VER.



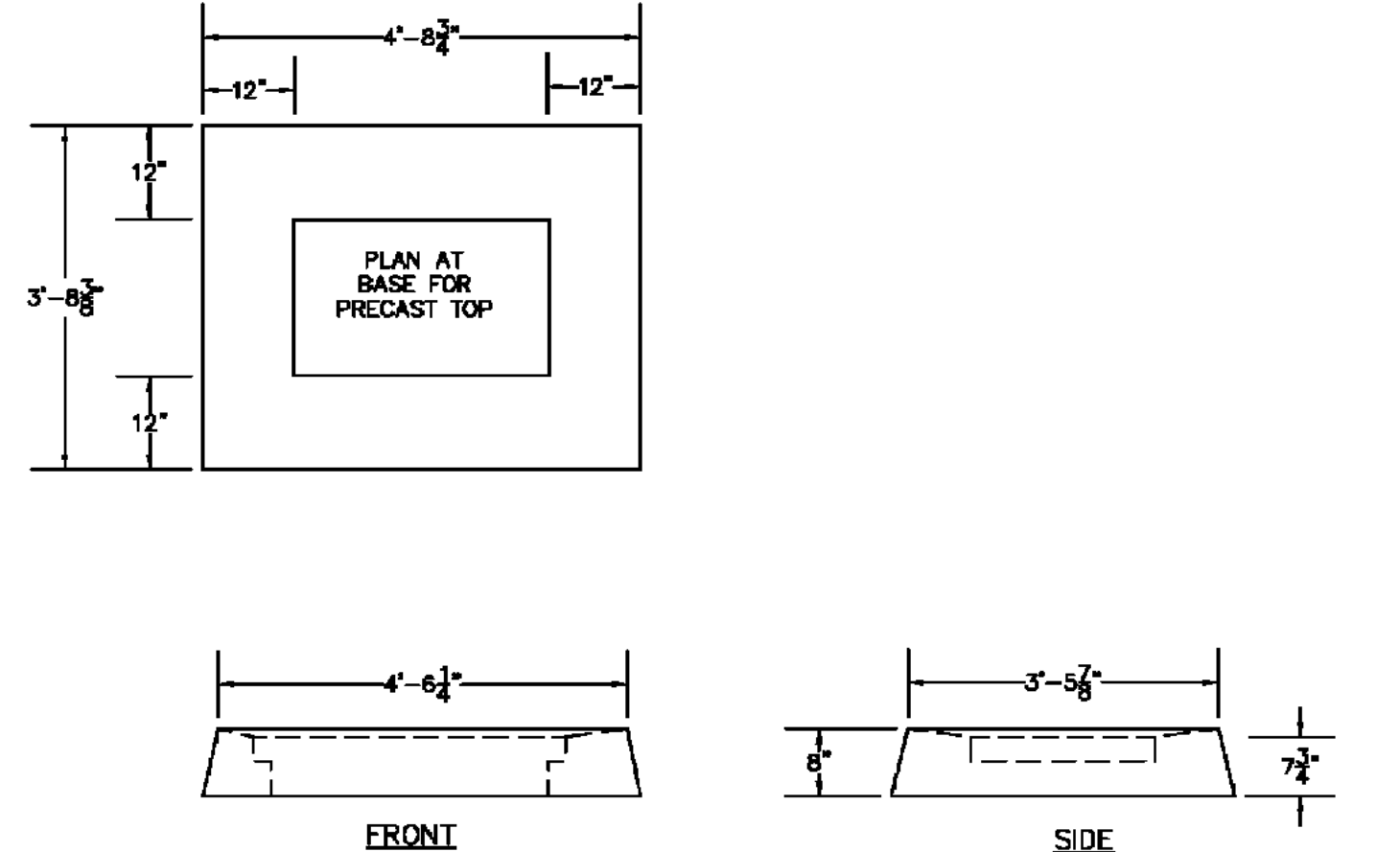
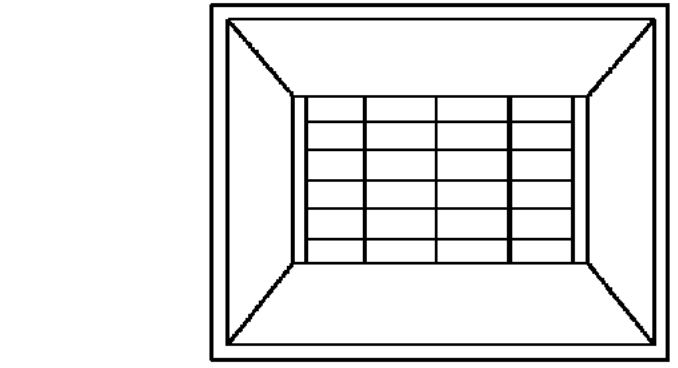
- NOTES:
1. ENDS OF PIPES SHALL EXTEND TO AND BE CUT FLUSH WITH INSIDE FACE OF MANHOLE. APPLY MORTAR TO OUT EDGE OF PIPE TO COVER REINFORCING.
  2. RED BRICK IS NOT TO BE USED.
  3. LADDER RUNGS SHALL BE INSTALLED IN ALL CATCH BASINS WHEN THE DEPTH OF THE STRUCTURE FROM THE TOP OF FRAME TO THE LOWEST FLOW LINE EXCEEDS 4 FEET. RUNGS SHALL CONFORM TO FORM B16 SECTION M DR.02.5.
  4. ANY OVER EXCAVATION SHALL BE REPLACED WITH PROCESSED AGGREGATE BASE, MEDIUM GRADATION, OR 3/4\"/>



**TOWN OF WINDSOR**  
Engineering Department

CATCH BASIN TYPE "CL"  
PRECAST CONCRETE  
D-305

SCALE: HOR. NTS. DATE: MAY 2010  
VER.



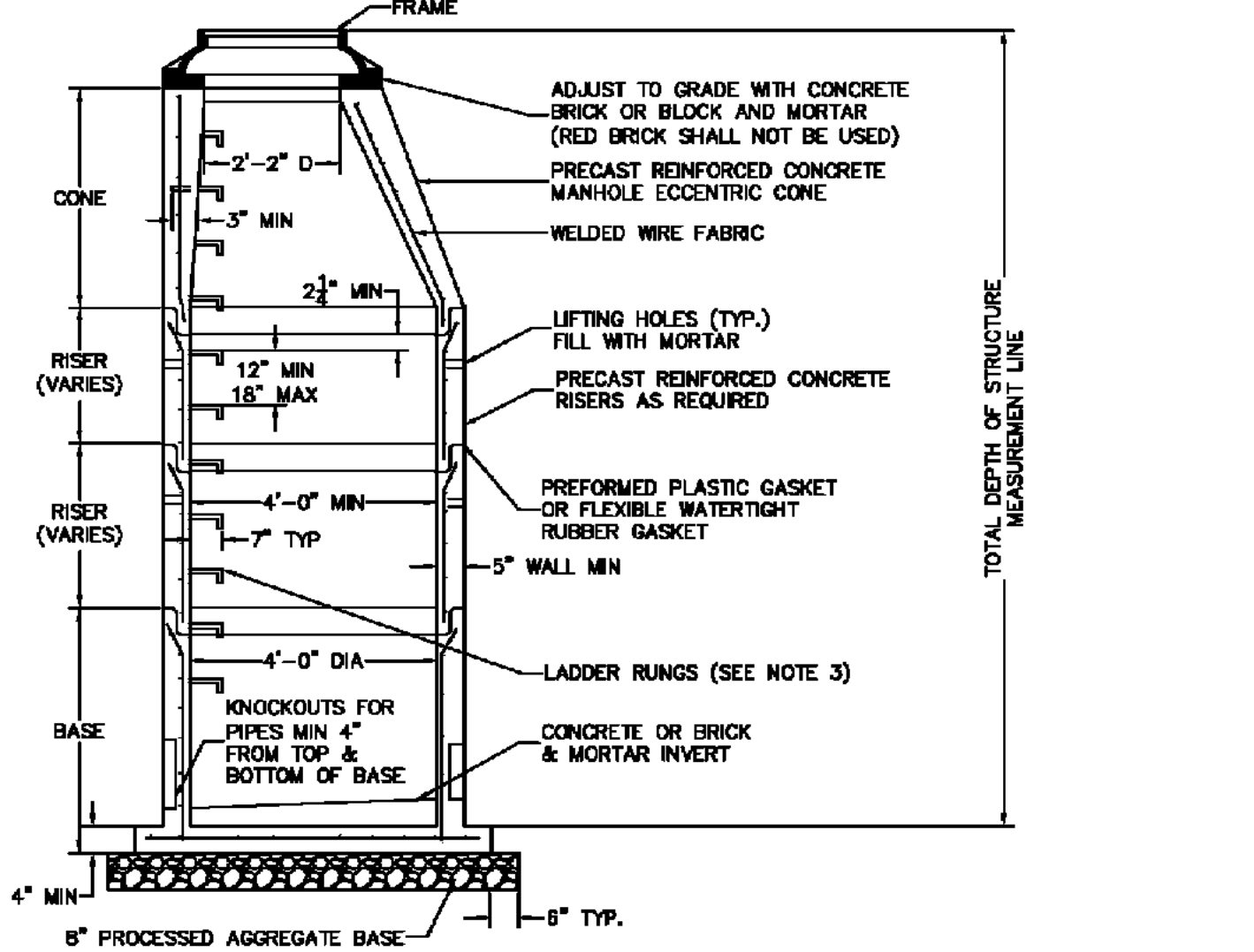
- NOTES:
1. ALL DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO SUBMIT MANUFACTURERS' SHOP DRAWINGS OF SPECIFIC PRODUCT FOR APPROVAL BY THE ENGINEER.
  2. A 3'-0 3/4\"/>

**TOWN OF WINDSOR**  
Engineering Department

CATCH BASIN TOP  
TYPE "CL" PRECAST CONCRETE  
D-307

SCALE: HOR. NTS. DATE: MAY 2010  
VER.

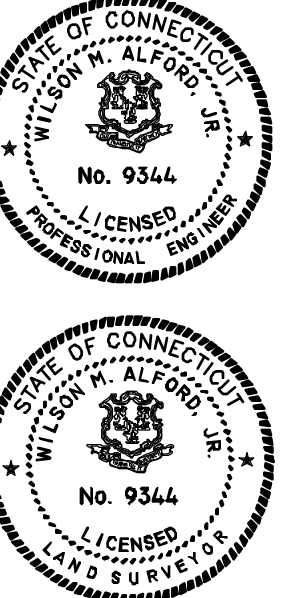
- NOTES:
1. ENDS OF PIPES SHALL EXTEND TO AND BE CUT FLUSH WITH INSIDE FACE OF MANHOLE. APPLY MORTAR TO OUT EDGE OF PIPE TO COVER REINFORCING.
  2. RED BRICK IS NOT TO BE USED.
  3. LADDER RUNGS SHALL BE INSTALLED IN ALL MANHOLES WHEN THE DEPTH OF THE STRUCTURE FROM THE TOP OF FRAME TO THE LOWEST FLOW LINE EXCEEDS 4 FEET. RUNGS SHALL CONFORM TO FORM B16 SECTION M DR.02.5.
  4. ANY OVER EXCAVATION SHALL BE REPLACED WITH PROCESSED AGGREGATE BASE, MEDIUM GRADATION, OR 3/4\"/>



**TOWN OF WINDSOR**  
Engineering Department

DRAINAGE MANHOLE  
PRECAST CONCRETE  
D-308

SCALE: HOR. NTS. DATE: MAY 2010  
VER.



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, R.P.E. & L.S.

DATE: OCTOBER 18, 2023  
SCALE: 1 IN. = - FT.

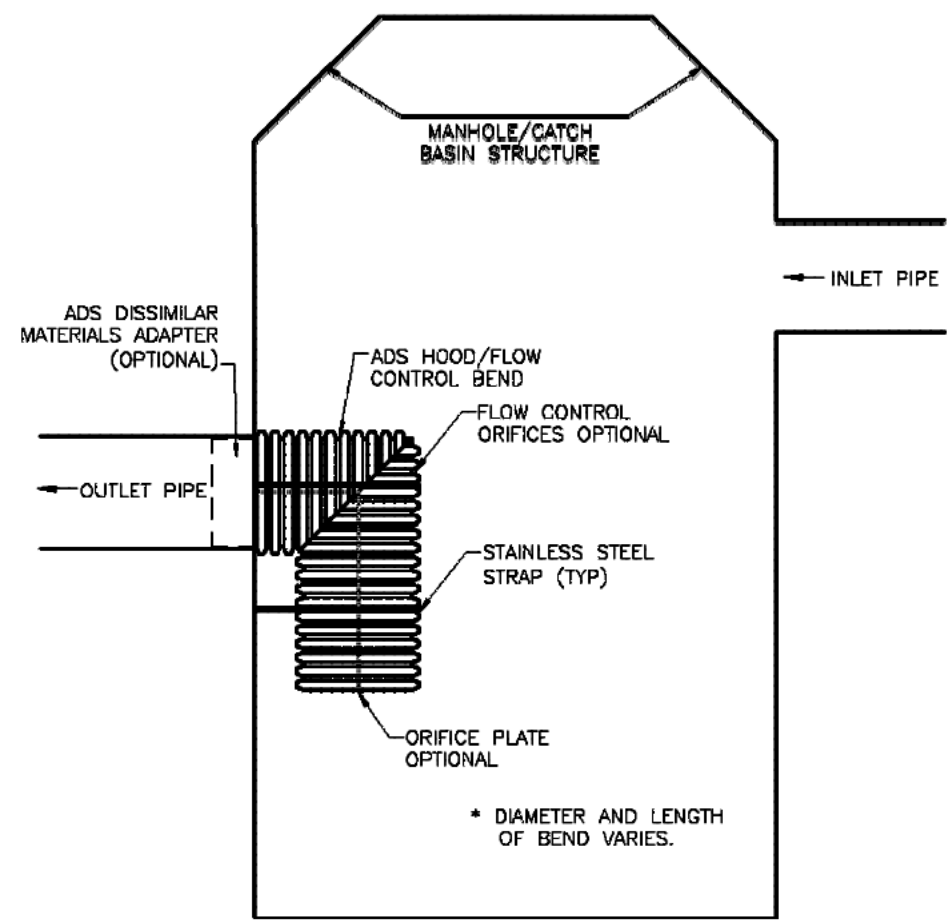
SITE PLAN  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
STORM DRAINAGE  
NOTES AND DETAILS

WINDSOR, CONNECTICUT

141 OLD POGUNOCK ROAD  
AND 55 BAKER HOLLOW ROAD

Sheet  
C6.3

**HOOD/FLOW CONTROL BEND INSTALLATION DETAIL**

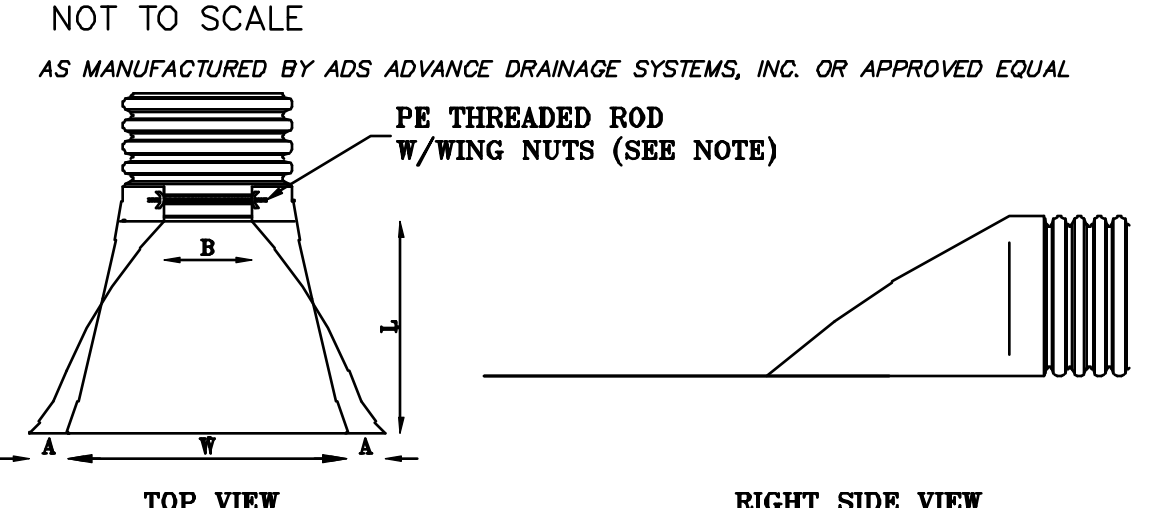


- FOR RETROFIT INSTALLATIONS OR DISSIMILAR MATERIALS ADAPTING, BEND SHALL BE FABRICATED WITH N-12 DISSIMILAR MATERIALS ADAPTER (SHOWN ABOVE).
- FOR NEW INSTALLATIONS CONNECTING TO HDPE PIPE, CONNECTION FROM OUTLET PIPE TO BEND SHALL BE MADE WITH ADS SPLIT COUPLER. JOINT SHALL BE LOCATED AT MIDPOINT OF STRUCTURE WALL AND SHALL EITHER BE GROUTED OR BOOTED IN PLACE.
- BEND SHALL BE SUPPORTED WITH A MINIMUM OF TWO STAINLESS STEEL STRAPS AT APPROXIMATE LOCATIONS SHOWN.
- STAINLESS STEEL STRAPS SHALL BE ANCHORED INTO STRUCTURE WITH FASTENERS.
- IF ORIFICES ARE INCORPORATED FOR FLOW CONTROL, CARE SHALL BE TAKEN SO AS TO NOT INSTALL STRAPS OVER THE ORIFICE.
- FINAL DIAMETER AND LENGTH OF BEND AND SIZE AND LOCATION OF ORIFICES (EITHER ON PLATE OR IN THE BEND) SHALL BE DETERMINED BY THE ENGINEER.

NOTE - HOODS ARE TO BE INSTALLED IN CATCH BASINS #1, #3, #5, #7, #13, #15 AND #16.

REVISIONS	
BY	DATE
AWK	08.14.08

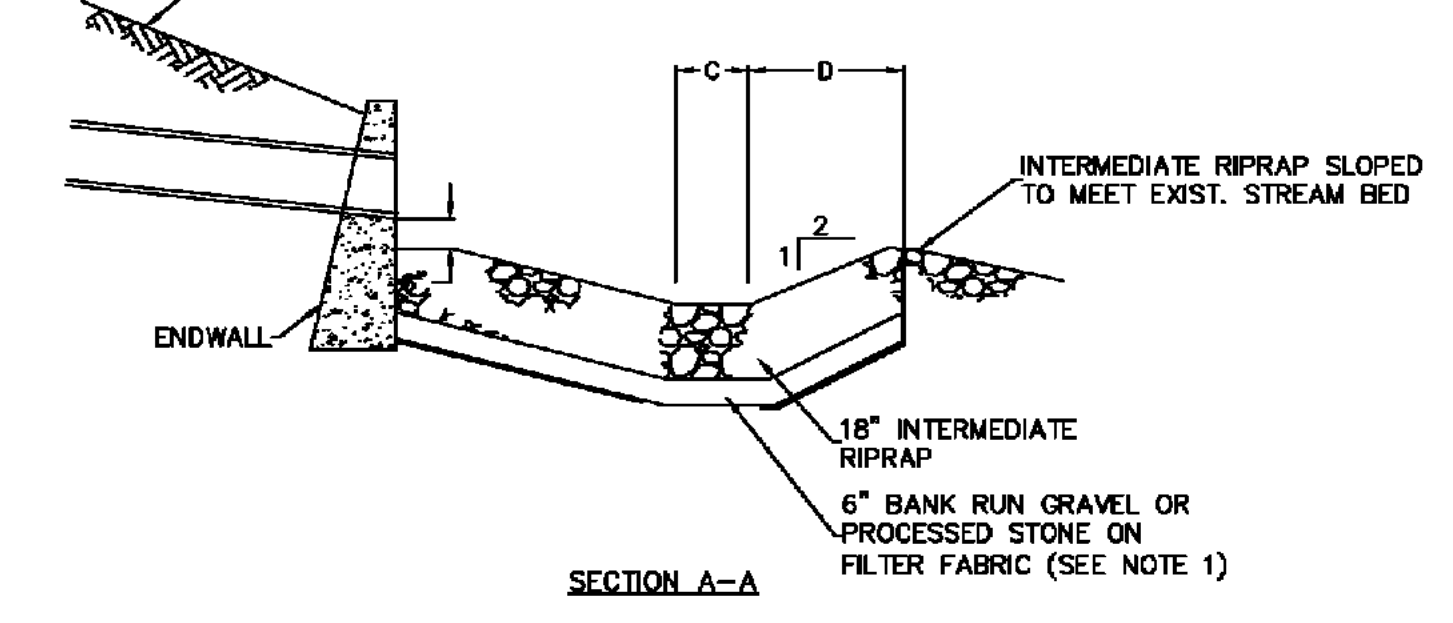
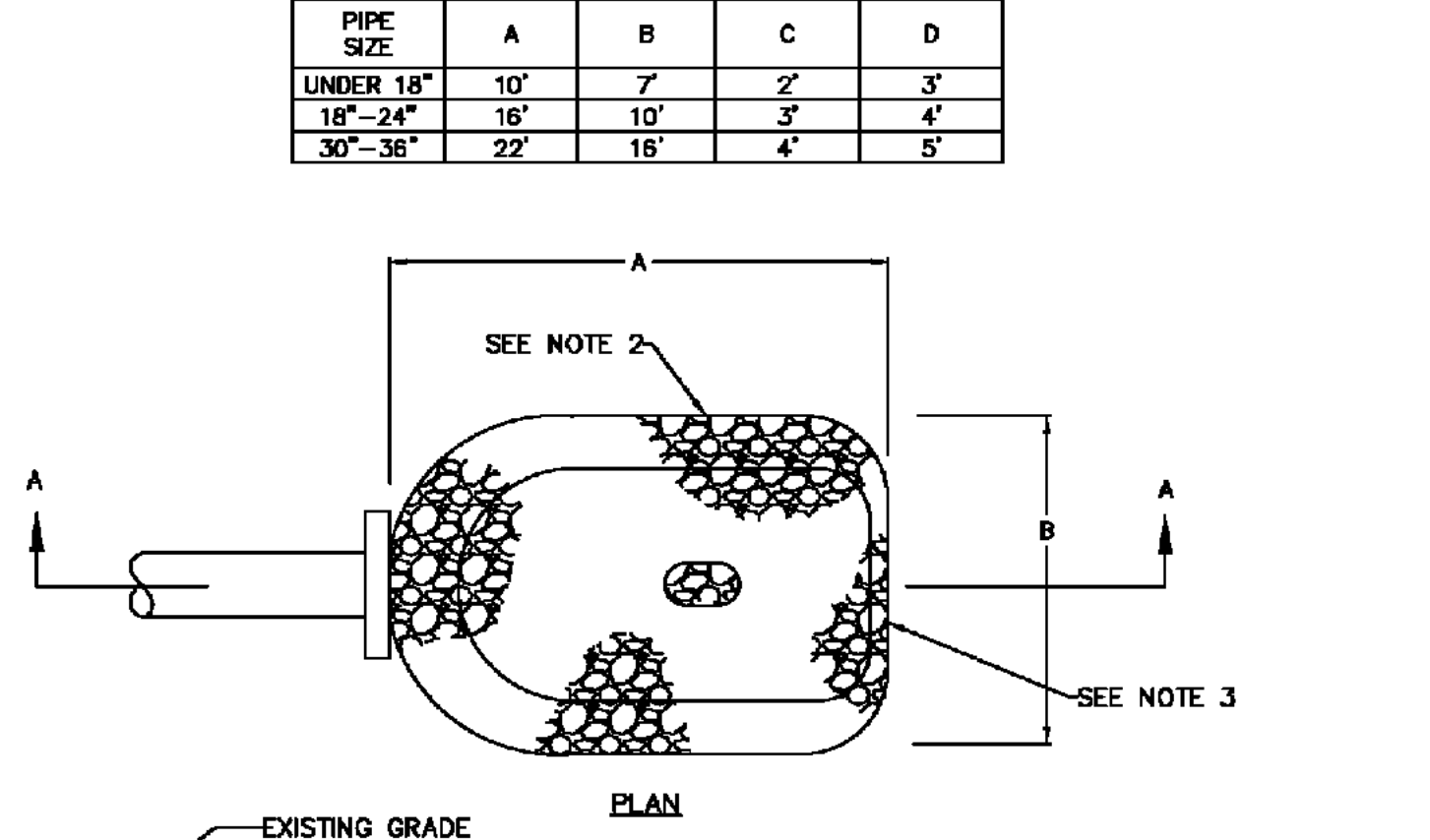
**FLARED END SECTION**



PART NO	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
1210-NP	300 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1510-NP	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	36"
1810-NP	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	38"	45"
2410-NP	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3012-NP	30"	10.5"	N/A	7.0"	53"	68"
3012-NP	750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm
3612-NP	36"	10.5"	N/A	7.0"	53"	68"
3612-NP	900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm

NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 18"-24", 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.

**GEOTEXTILE SILT FENCE WITH WOOD CHIP BACKUP**



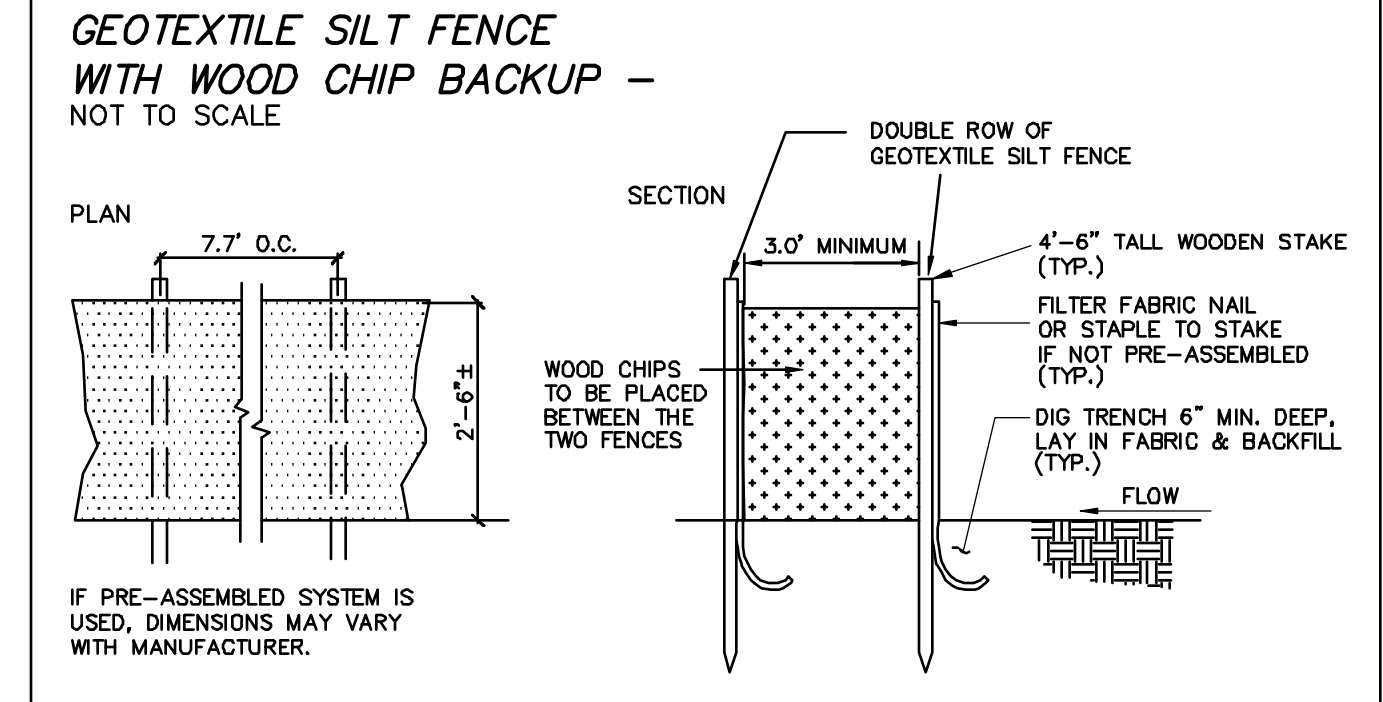
- NOTES:
- FILTER FABRIC SHALL BE NONWOVEN CLASS 2, WITH PERMITIVITY OF 0.5 TO 0.1 SEC AND AOS OF 0.43mm TO 0.22mm AND SHALL MEET AASHTO M288-96.
  - SIDE ELEVATIONS TO BE AT OR ABOVE PIPE FLOW LINE.
  - DOWNSTREAM ELEVATION TO BE 1"-2" LOWER THAN UPSTREAM ELEVATION.

**TOWN OF WINDSOR Engineering Department**

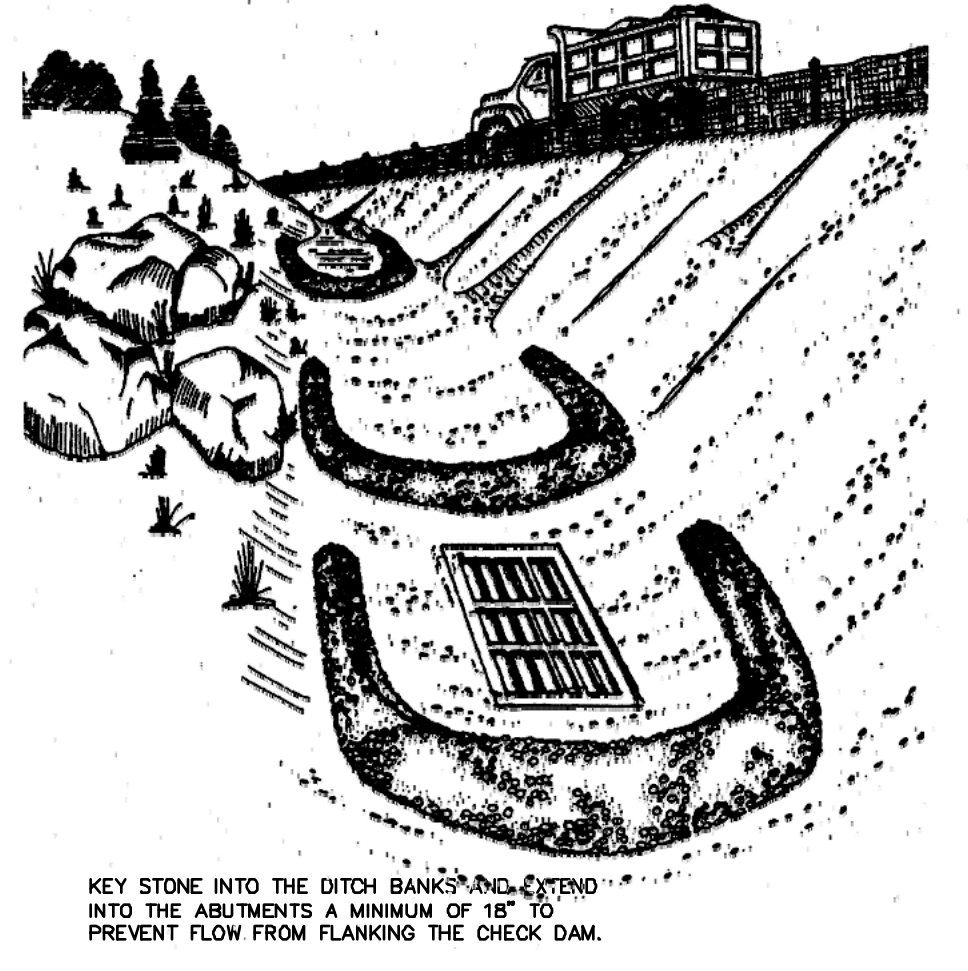
PLUNGE POOL D-311

SCALE: HOR. NTS. DATE: MAY 2010

THIS DETAIL IS TO BE USED AT ALL OUTLETS EXCEPT FOR FLARED ENDS #3 AND #6

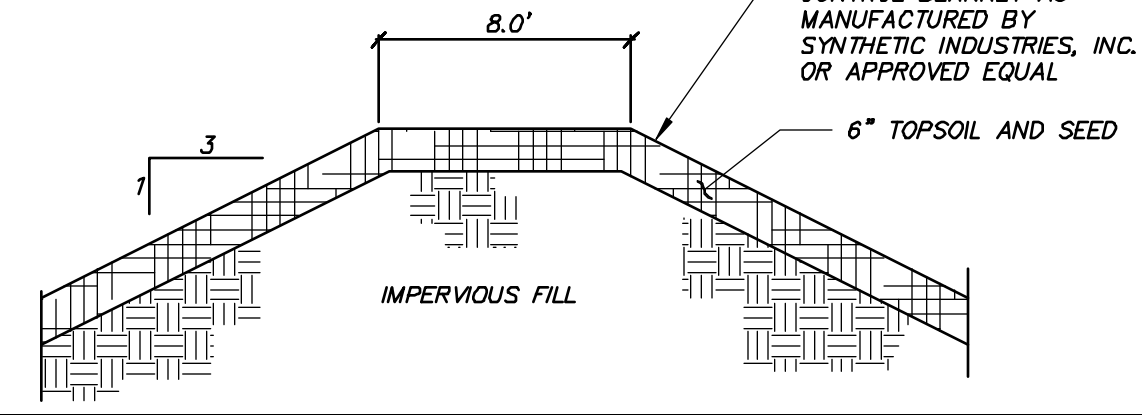


**STONE CHECK DAM CATCH BASIN PROTECTION IN DRAINAGEWAYS**

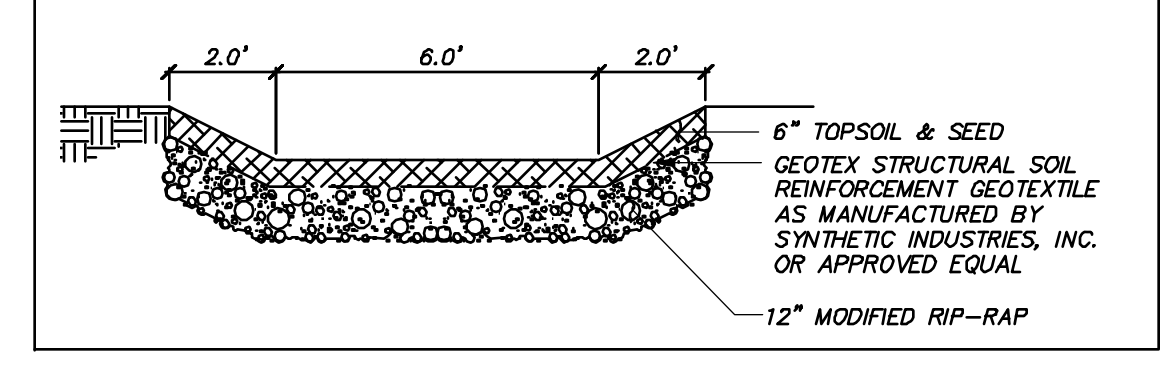


KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE CHECK DAM.

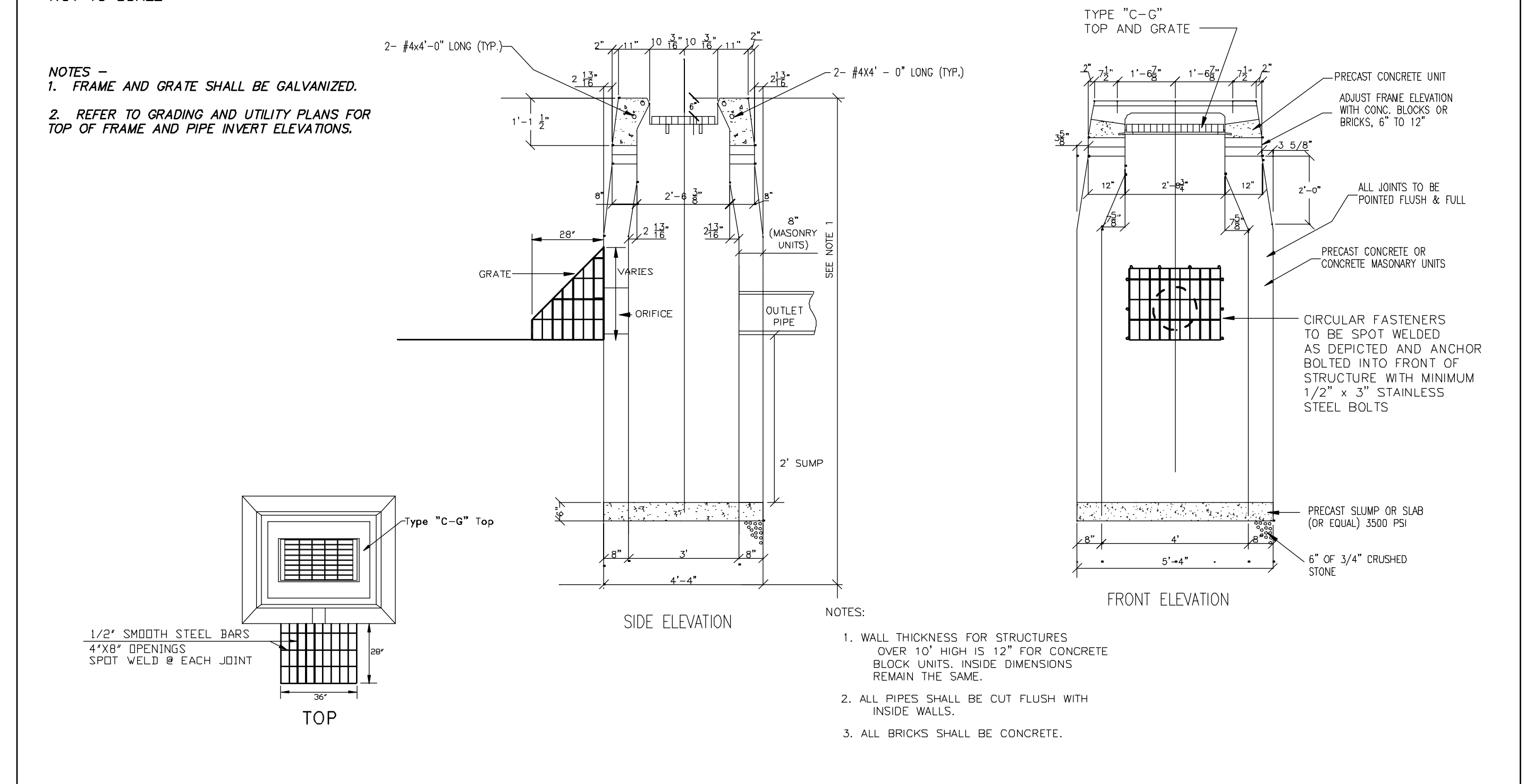
**DETENTION BERM**



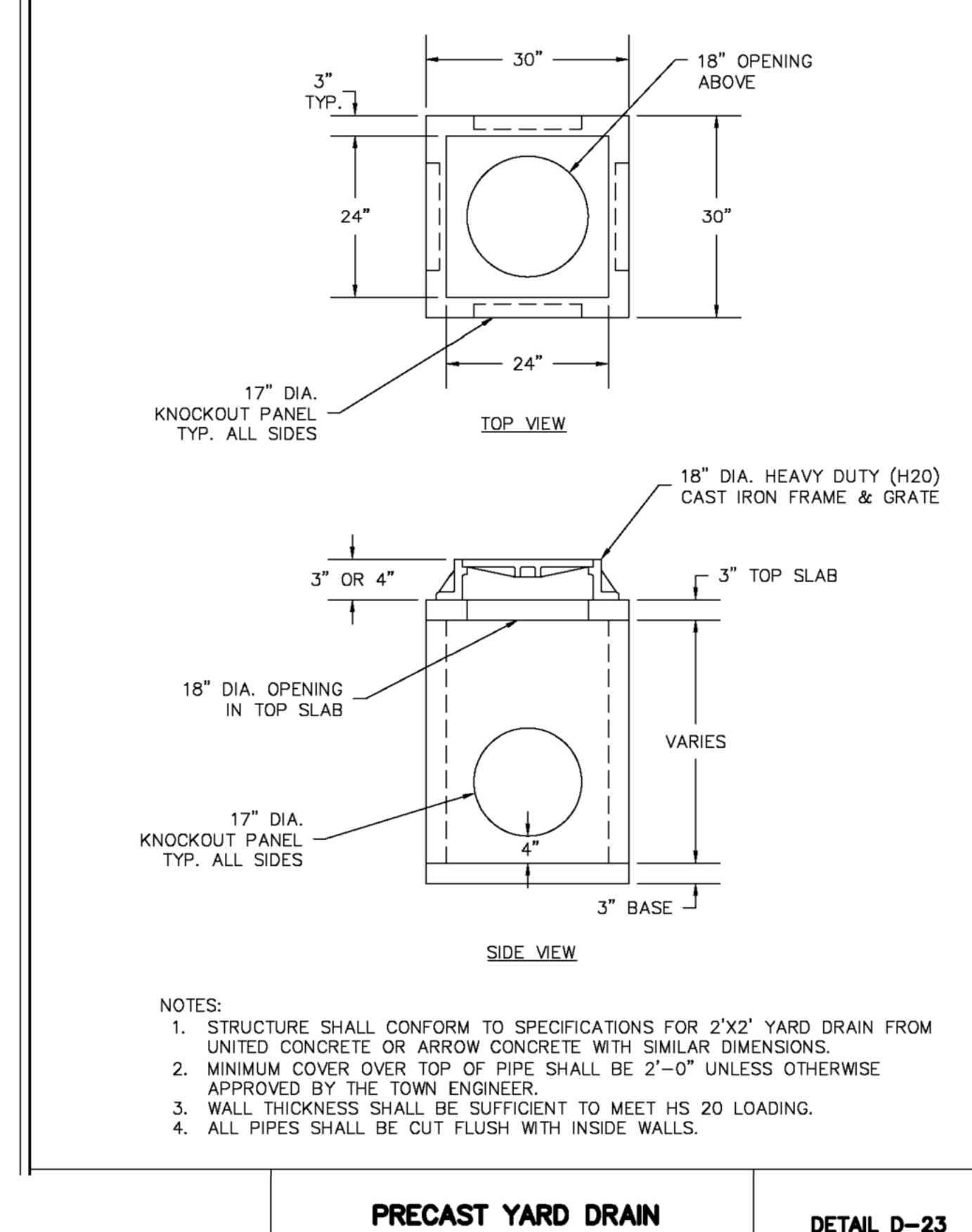
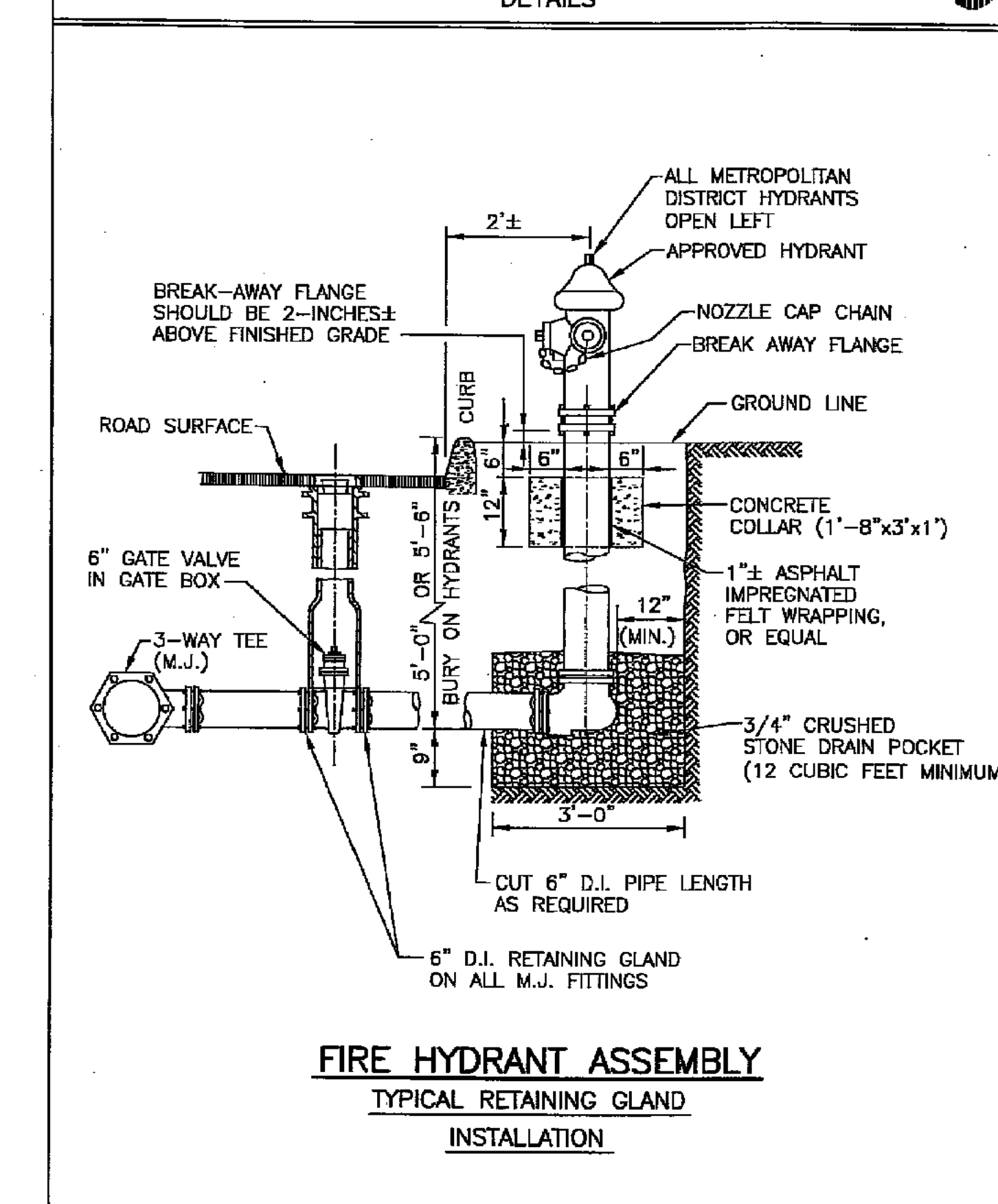
**EMERGENCY SPILLWAY**



**DETENTION BASIN OUTLET STRUCTURE**



**THE METROPOLITAN DISTRICT WATER SERVICES INSTALLATION DETAILS**



REVISION

DATE

STATE OF CONNECTICUT

WILSON H. ALFORD, JR.

NO. 9344

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

**Alford ASSOCIATES, INC.**

CIVIL ENGINEERS WINDSOR, CONNECTICUT

WILSON H. ALFORD, JR., P.E. & L.S.

DATE: OCTOBER 18, 2023

SCALE: 1 IN. = - FT.

SITE PLAN

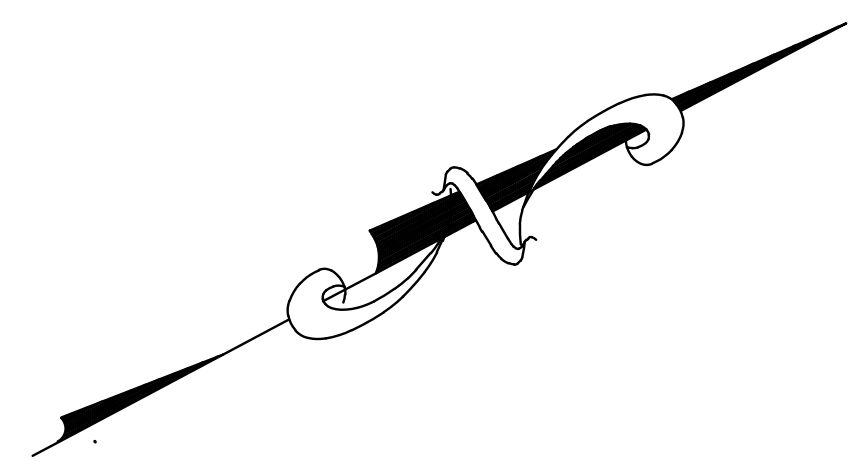
PREPARED FOR

Condryne Capital Partners, LLC

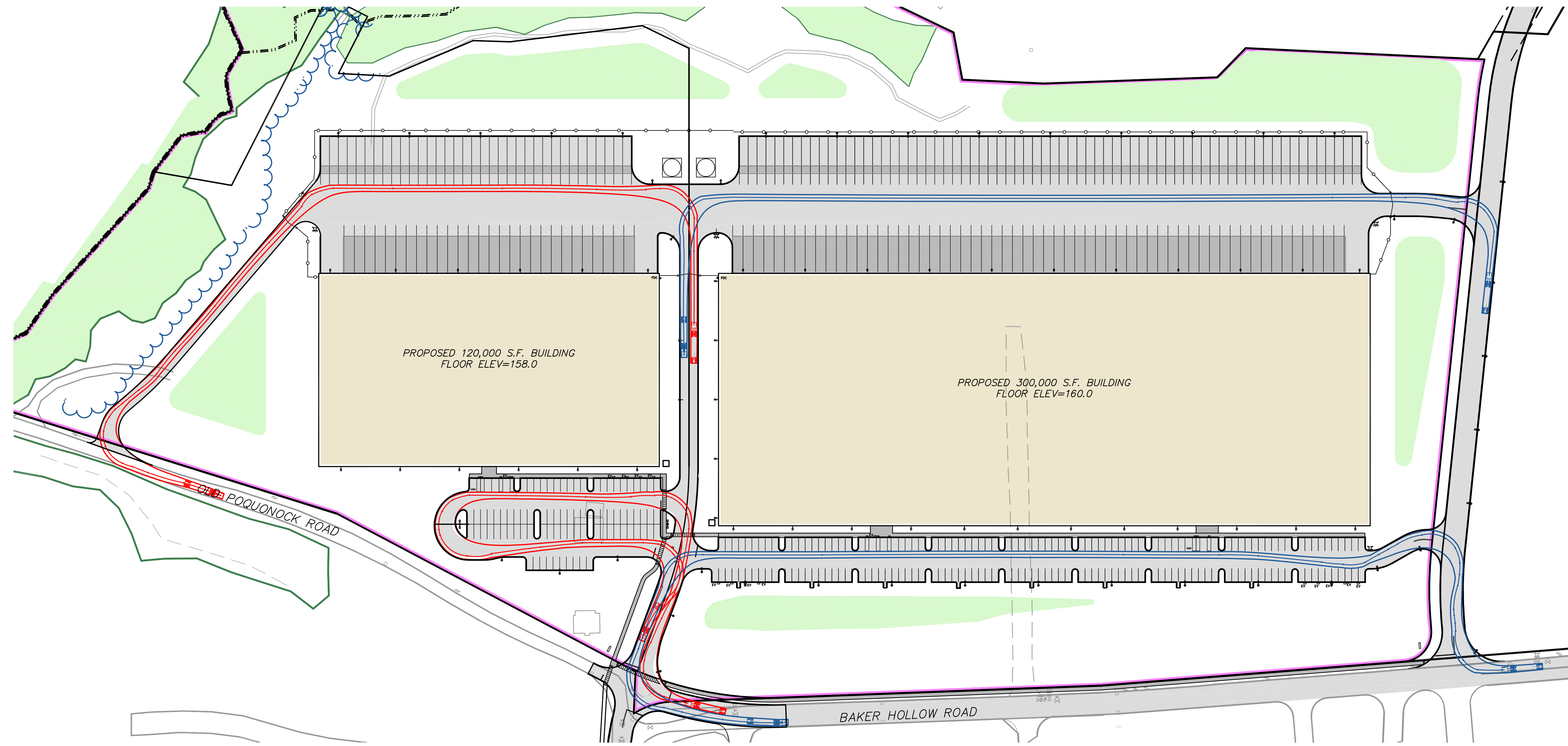
STORM DRAINAGE, UTILITIES AND EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS

141 OLD POGONOCK ROAD AND 55 BAKER HOLLOW ROAD WINDSOR, CONNECTICUT

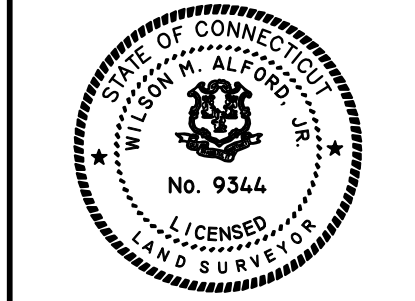
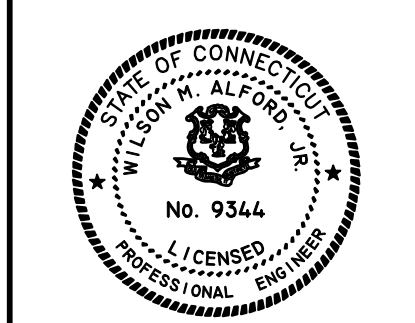
Sheet C6.4



### WB-50 EMERGENCY VEHICLE ACCESS



REVISION	DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.



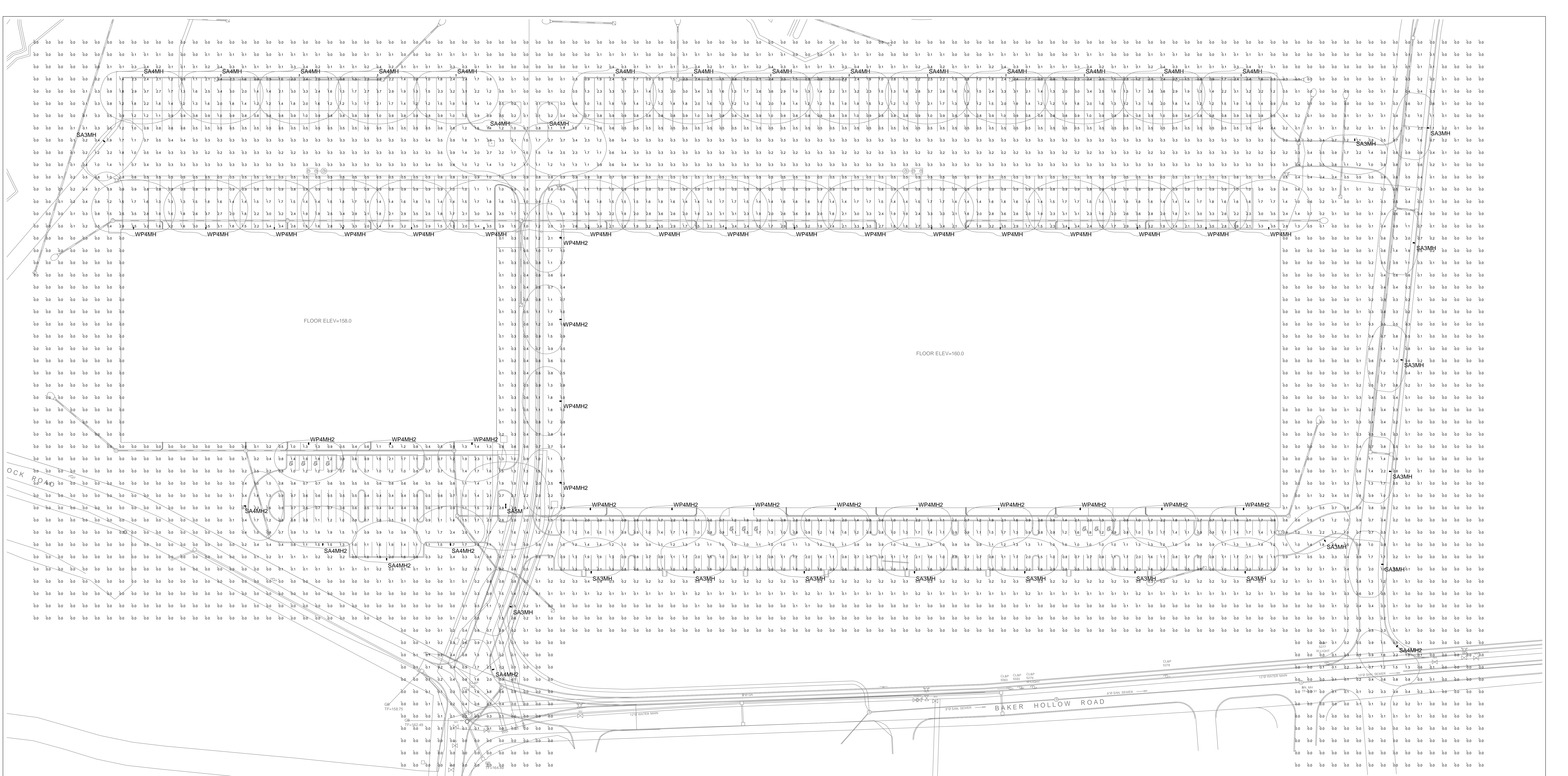
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: NOVEMBER 10, 2023

SCALE: 1 IN. = 80 FT.

SITE PLAN  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
TRUCK TURNING MOVEMENT PLAN  
55 BAKER HOLLOW ROAD  
141 OLD POQUONOCK ROAD  
WINDSOR, CONNECTICUT

Sheet  
C7.0



JOB NAME: CONDYNE 55 BAKER HOLLOW RD & 141 OLD POQUONOCK RD - WINDSOR, CT  
 APEX LIGHTING SOLUTIONS  
 WORKPLANE/CALC PLANE: AT FINISH GRADE  
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE  
 APPS: LEPD  
 SALES: SP  
 SPECIFIER: ALFORD ASSOCIATES

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename	BUG Rating
	16	SA3MH	Single	6969	54.129	0.850	OPF-S-A02-730-T4M-AR1-VOLT-HS-FINISH / SSS- CB-4-7-24-D1-DTS-FINISH-VDA	SIGNIFY GARDCCO	OPF-S-A02-730-T3M-HS.ies	B1-U0-G2
	16	SA4MH	Single	12692	104.3	0.850	OPF-S-A05-730-T4M-AR1-VOLT-HS-FINISH / SSS- CB-4-7-24-D1-DTS-FINISH-VDA	SIGNIFY GARDCCO	OPF-S-A05-730-T4M-HS.ies	B1-U0-G2
	6	SA4MH2	Single	6993	54.129	0.850	OPF-S-A02-730-T4M-AR1-VOLT-HS-FINISH / SSS- CB-4-7-24-D1-DTS-FINISH-VDA	SIGNIFY GARDCCO	OPF-S-A02-730-T4M-HS.ies	B1-U0-G2
	1	SASM	Back-Back	9265	54.129	0.850	OPF-S-A02-730-TSM-AR1-VOLT-FINISH / SSS-CB-4- 7-24-D2-DTS-FINISH-VDA	SIGNIFY GARDCCO	OPF-S-A02-730-TSM.ies	B3-U0-G2
	17	WP4MH	Single	12692	104.3	0.850	OPF-S-A05-730-T4M-WAL-VOLT-HS-FINISH / Wall Mounted 24ft	SIGNIFY GARDCCO	OPF-S-A05-730-T4M-HS.ies	B1-U0-G2
	16	WP4MH2	Single	6993	54.129	0.850	OPF-S-A02-730-T4M-WAL-VOLT-HS-FINISH / Wall Mounted 24ft	SIGNIFY GARDCCO	OPF-S-A02-730-T4M-HS.ies	B1-U0-G2

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin	Description
Site	Illuminance	Fc	0.60	3.9	0.0	N.A.	N.A.	15ft Grid
Car Parking Lot East	Illuminance	Fc	1.16	2.2	0.5	2.32	4.40	15ft Grid
Car Parking Lot West	Illuminance	Fc	1.05	2.4	0.4	2.63	6.00	15ft Grid
Center Drive	Illuminance	Fc	0.96	2.4	0.4	2.40	6.00	15ft Grid
East Drive	Illuminance	Fc	0.84	2.2	0.2	4.20	11.00	15ft Grid
Loading Area	Illuminance	Fc	2.20	3.6	1.4	1.57	2.57	15ft Grid
Trailer Parking & Turnaround	Illuminance	Fc	0.90	3.9	0.2	4.50	19.50	15ft Grid

**GENERAL DISCLAIMER:**  
 Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to differences in calculation methods, lighting procedures, component performance, measurement techniques and field conditions such as: oblique and fluorescent variations. Input data used to generate the attached calculations such as room dimensions, reflectance, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.  
 \* LLF Determined Using Current Published Lamp Data  
**NOTE TO REVIEWER:**  
 Total Light Loss Factor (LLF) applied at time of design is determined by applying the Light Loss Factor (LLF) to the luminaire output (lumens) and multiplying by a Light Loss Factor (LLF) based on IES recommended values and a Ballast Factor (BF) from current fixture specifications. Application of an improper Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.  
 For proper component and placement locations, it is essential that you install all lamps as shown in the IES Light Loss Factor.

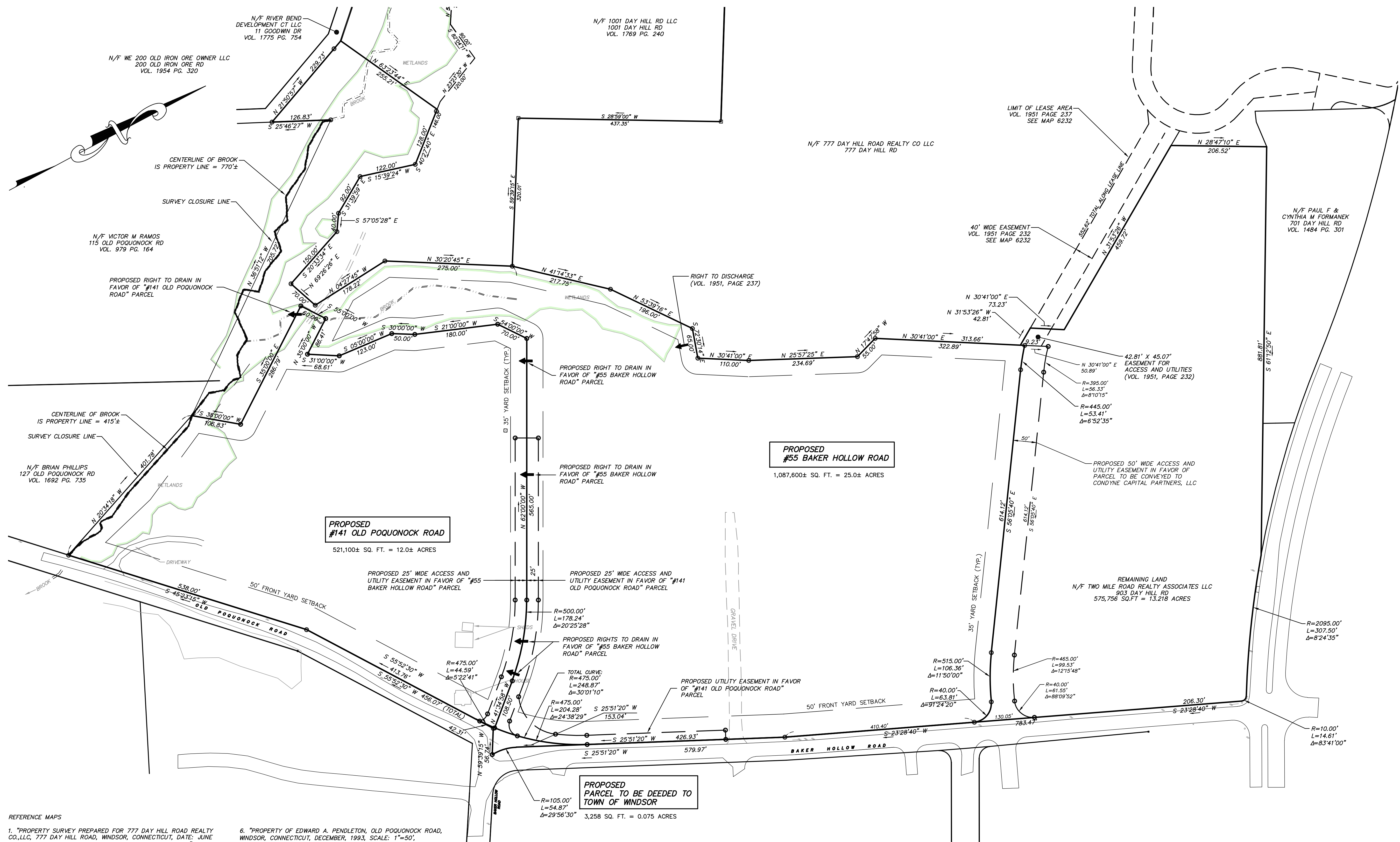


PROJECT TITLE:  
 CONDYNE  
 55 BAKER HOLLOW RD &  
 141 OLD POQUONOCK RD  
 WINDSOR, CT

DRAWING TITLE:  
 SITE LIGHTING  
 PHOTOMETRIC CALCULATION

SCALE: 1"=40'-0"  
 DATE: 11/02/23  
 DRAWN BY: LED/PD  
 SHEET:  
**SL-1**

FILE NAME: 2023-11-02 SL-1 CONDYNE 55 BAKER HOLLOW RD & 141 OLD POQUONOCK RD - WINDSOR, CT.dwg



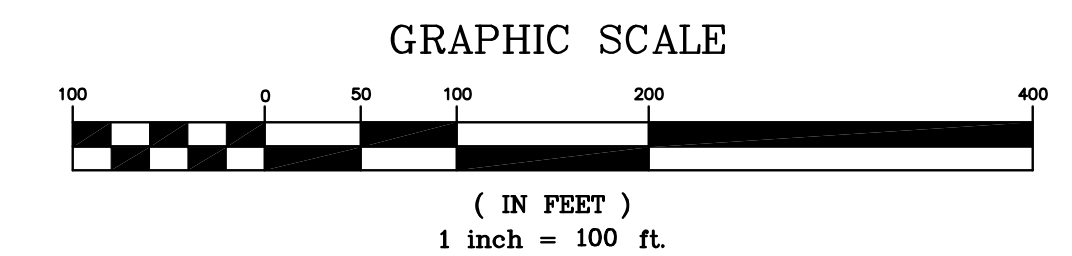
REFERENCE MAPS

1. "PROPERTY SURVEY PREPARED FOR 777 DAY HILL ROAD REALTY CO., LLC, 777 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JUNE 21, 2023, SCALE: 1 IN.=100 FT., ALFORD ASSOCIATES, INC." TOWN CLERK MAP 6242
2. "PLAN TO SHOW PARCELS 'C', 'D' AND '895 DAY HILL ROAD' PREPARED FOR 777 DAY HILL ROAD REALTY CO., LLC, 777 DAY HILL ROAD WINDSOR, CONNECTICUT, DATE: JULY 16, 2021, SCALE: 1 IN.= 120 FT., SHEETS 1 AND 2 OF 2, ALFORD ASSOCIATES, INC." TOWN CLERK MAPS 6150 AND 6152
3. "LEASE AREA PLAN SHOWING PROPOSED SOFTBALL FIELDS, PREPARED FOR 1001 DAY HILL ROAD LLC, 1001 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JULY 20, 2018, SCALE: 1 IN.= 120 FT., SHEET 1 OF 1, ALFORD ASSOCIATES, INC." TOWN CLERK MAP 6063
4. "LOT LINE REVISION PLAN PREPARED FOR INFINITY VII, LLC, 1045 DAY HILL ROAD, WINDSOR, CONNECTICUT, DATE: JULY 6, 2016, SCALE: 1 IN.= 120 FT., SHEET 2 OF 2, ALFORD ASSOCIATES, INC." TOWN CLERK MAP 5968
5. "SUBDIVISION PLAN, PROJECT FRANCISCO, 801 DAY HILL ROAD, MAP 34, BLOCK 133, LOT 1, WINDSOR, CONNECTICUT, DATE: SEPTEMBER 18, 2013, REVISED TO NOVEMBER 8, 2013, SHEET 1 OF 7, LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES" TOWN CLERK MAP 5871

6. "PROPERTY OF EDWARD A. PENDELTON, OLD POQUONOCK ROAD, WINDSOR, CONNECTICUT, DECEMBER, 1993, SCALE: 1"=50', SANDERSON & WASHBURN" TOWN CLERK MAP 4478
7. "PREPARED FOR O.J. THRALL, INC., BAKER HOLLOW ROAD AND MARSHALL PHELPS ROAD, WINDSOR, CONN., DATE: SEPT. 21, 1989, REVISED TO 11-6-89, SCALE: 1 IN.= 100 FT., ALFORD ASSOCIATES, INC." TOWN CLERK MAP 3613
8. "PROPERTY OF HUNTINGTON AND CLARK, SOUTH OF DAY HILL ROAD, WEST OF BAKER HOLLOW ROAD, WINDSOR, CONN., SCALE: 1 IN.=100 FT., DATE: JAN. 21, 1976, REVISION DATE 9/24/76, ALFORD ASSOCIATES" TOWN CLERK MAP 1661
9. "RIGHT OF WAY PLAN, BAKERS HOLLOW ROAD, TOWN OF WINDSOR, FROM MARSHALL PHELPS TO DAY HILL ROAD, SCALE: 1"=40', DATE: MARCH 1958, SHEET NO 2, W.M. ALFORD" TOWN CLERK MAP 40
10. "PROPERTY OF JOSEPH & GRACE CARVALHO, WEST SIDE - OLD POQUONOCK ROAD, WINDSOR, CONN., DATE: JUNE, 1964, SCALE: 1 IN.=40 FT., W.M. ALFORD, CIVIL ENGINEER"

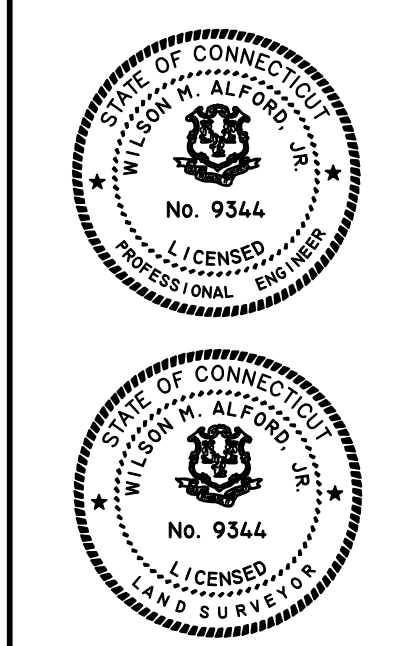
SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS 1-2.
2. PARCEL AREA = 1,612,00± SQ.FT. = 37.0± ACRES.
3. VERTICAL DATUM IS NAVD88.
4. WETLANDS WERE DELINEATED BY REMA ECOLOGICAL SERVICES AND FIELD LOCATED BY ALFORD ASSOCIATES, INC.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

NO.	DATE	REVISION



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: NOVEMBER 10, 2023

SCALE: 1 IN. = 100 FT.

SUBDIVISION PLAN  
PREPARED FOR  
**Condyne Capital Partners, LLC**  
WINDSOR, CONNECTICUT

Sheet  
1 OF 1