

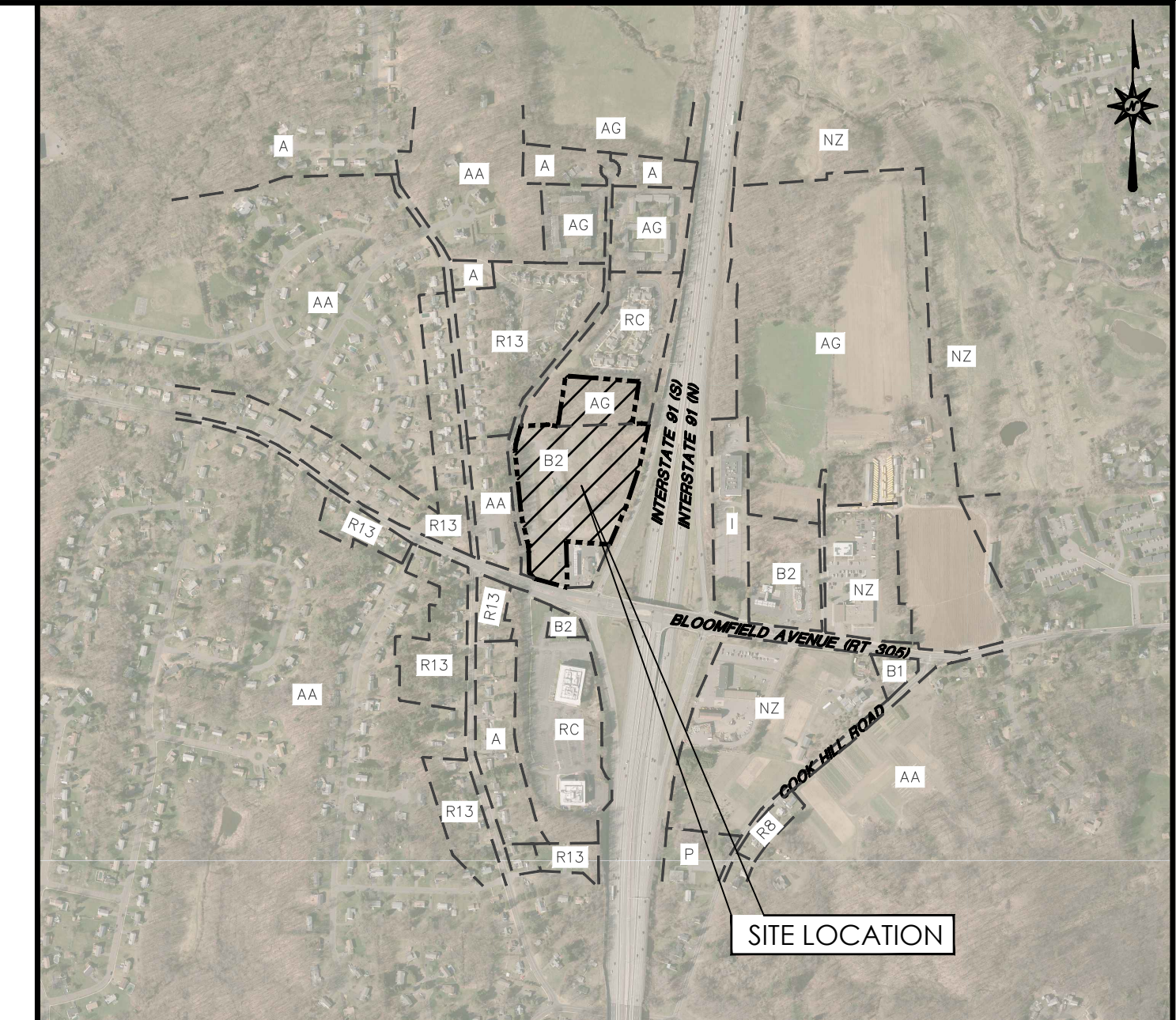
LOCATION MAP
N.T.S.

MULTI-FAMILY RESIDENTIAL DEVELOPMENT ISSUED FOR LOCAL LAND DEVELOPMENT PERMITTING

**450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT 06095**

PREPARED FOR:

**A.R. BUILDING COMPANY, INC.
310 SEVEN FIELDS BOULEVARD
SEVEN FIELDS, PA 16046**



VICINITY MAP
SCALE: 1"=800'

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SP-0	OVERALL SITE PLAN
SP-1	SITE PLAN
SD-1	SIGHT DISTANCE PLAN
GD-1	GRADING AND DRAINAGE PLAN
SU-1	SITE UTILITIES PLAN
EC-1	SEDIMENT AND EROSION CONTROL PLAN
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PREPARED BY:



355 RESEARCH PARKWAY
MERIDEN, CONNECTICUT 06450
(203) 630-1406
(203) 630-2615 Fax

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

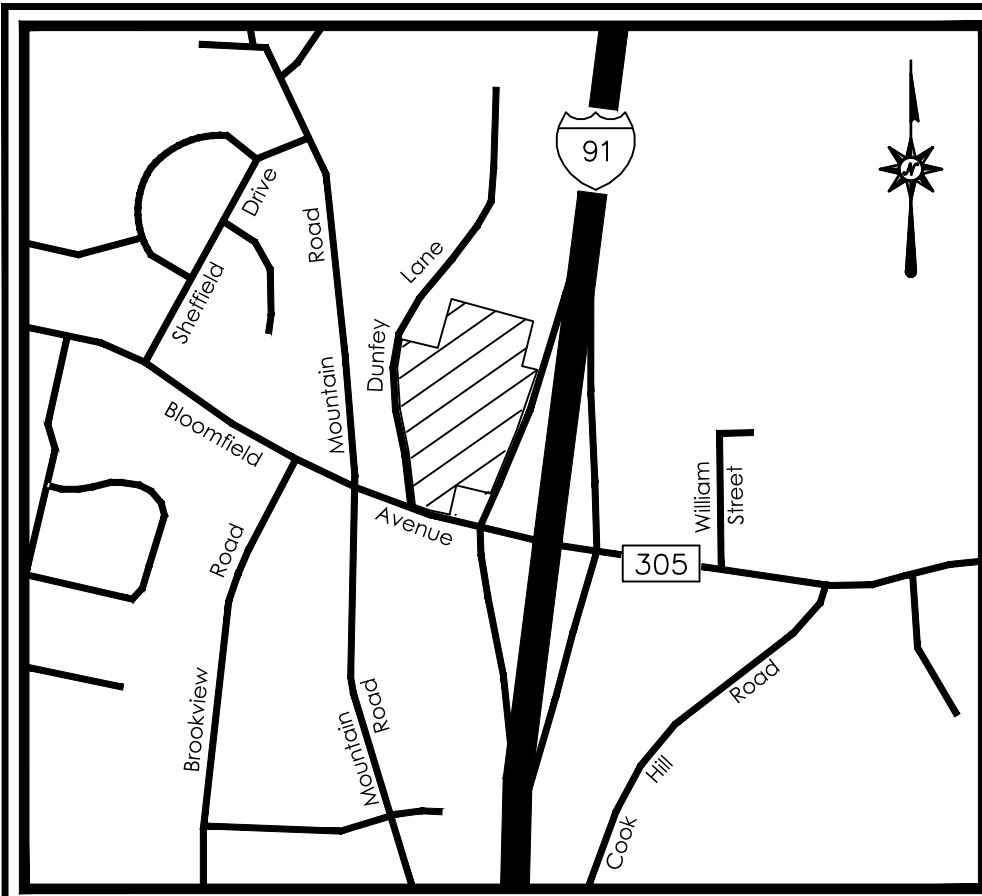
DEVELOPER: A.R. BUILDING COMPANY, INC. 310 SEVEN FIELDS BOULEVARD SEVEN FIELDS, PA 16046	OWNER: CICERO JOSEPH JR ET AL TIC 198 PLEASANT ST WINDSOR, CT 06095
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SUBCONSULTANTS:
 REMA ECOLOGICAL SERVICES, LLC - SOIL SCIENTIST
 CLARENCE WELTI ASSOCIATES, INC - GEOTECHNICAL ENGINEER



DATES

ISSUE DATE:	FEBRUARY 27, 2024
REVISION:	APRIL 4, 2024
	MAY 7, 2024
	JUNE 4, 2024



LOCATION MAP
NOT TO SCALE

LEGEND

	Property Line		Gas Line		Gas Valve
	Easement Line		Sanitary Sewer		Cleanout
	Setback Line		Storm Sewer		Catch Basin
	Edge of Water		Underground Telecommunications Line		Manhole
	Limit of Wetlands		Water Line		Span Pole
	Wetlands/Marsh		Handhole		Fire Hydrant
	Treeline		Electric Meter		Water Valve
	Brushline		Utility Pole		Sign
	Major Contour		Utility Pole w/ Light		Ballard
	Minor Contour		Guy Wire		Deciduous Tree
	Fence		Light Pole		Coniferous Tree
	Overhead Wires		Flood Light		

PARCEL DATA CHART

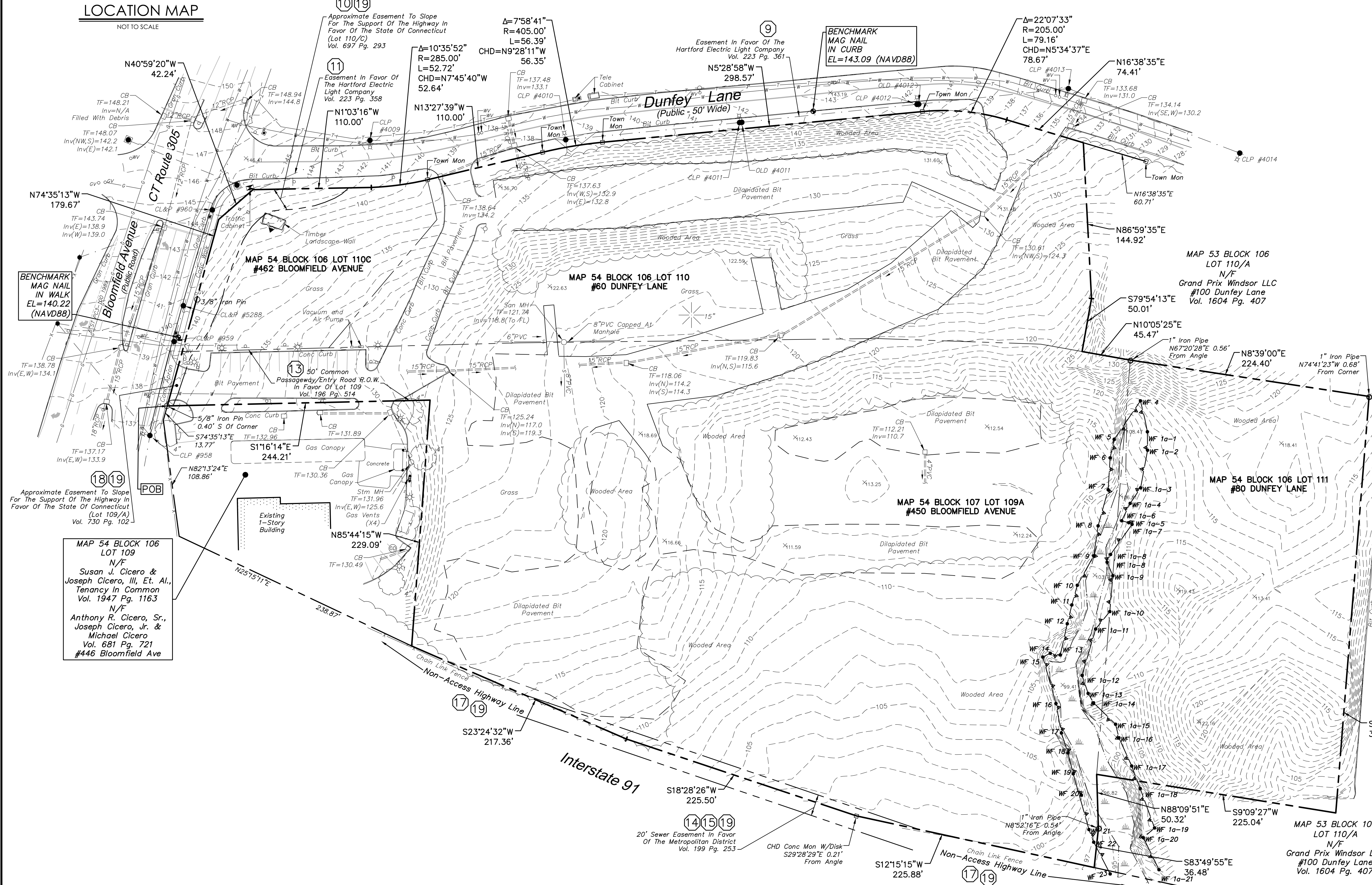
MAP BLOCK LOT	OWNER	ADDRESS	VOL./PG.	AREA SQUARE FEET	ACRES
54 107 109A	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	450 BLOOMFIELD AVENUE	1947/1163	270,302	6.21
54 106 110	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	60 DUNFEY LANE	1947/1163	122,841	2.82
54 106 110C	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	462 BLOOMFIELD AVENUE	1947/1163	25,850	0.59
54 106 111	SUSAN J. CICERO & JOSEPH CICERO, III, ET AL., TENANCY IN COMMON	80 DUNFEY LANE	1947/1163	86,740	1.99
	TOTAL AREA			505,733	11.61

GENERAL NOTES

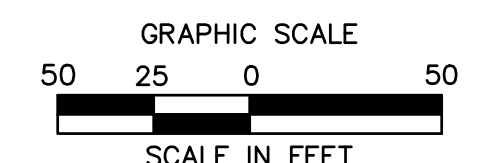
- THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- THE TYPE OF SURVEY PERFORMED IS AN ALTA/NSPS LAND TITLE SURVEY AND IS INTENDED TO DEFINE THE BOUNDARY AND EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES DURING MAY, 2023 UTILIZING THE SMARTNET NORTH AMERICA RTK NETWORK.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING GEOID 18 AND IS BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES IN MAY, 2023 UTILIZING THE SMARTNET NORTH AMERICA RTK NETWORK.
- PARCEL IS LOCATED IN A OTHER AREAS "ZONE X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. MAP NUMBER 090030356F; PANEL 356 OF 675. EFFECTIVE DATE: SEPTEMBER 26, 2008.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE. ZONING INFORMATION WAS DERIVED FROM THE TOWN OF WINDSOR PLANNING AND ZONING WEBSITE AS PUBLISHED ON 6/5/2023.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE MADE AVAILABLE TO THE SURVEYOR. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- WETLAND FLAG DELINEATION BY REMA ECOLOGICAL SERVICES, LLC IN MAY AND JULY, 2023 AND FIELD LOCATED BY BL COMPANIES IN MAY AND JULY, 2023.

MAP REFERENCES

- "PROPERTY SURVEY LOT LONE RECONFIGURATION PLAN PREPARED FOR JOSEPH CICERO, ET AL., BLOOMFIELD AVENUE & DUNFEY LANE WINDSOR, CONNECTICUT", SCALE 1"=50', DATED 9/7/1995, REVISED 7/36/2006, 12/28/2009. JOB NO. 06156. SHEET NO. 1 OF 1, PREPARED BY F.A. HESKETH & ASSOCIATES, INC., EAST GRANBY, CONNECTICUT AND FILED AS MAP 5665 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "SURVEY MAP SHOWING PARCELS "A", "B", "C", "D", "E" & "F" WINDSOR, CONN.", SCALE 1"=40', DATED 8/7/1989, DRAWING NO. 1025. PREPARED BY IGOR V. GORBEV, PROFESSIONAL ENGINEER & LAND SURVEYOR, HARTFORD, CONNECTICUT AND FILED AS MAP 6-1041 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND & RIGHTS OF ACCESS ACQUIRED FROM ROSE M. CICERO BY THE STATE OF CONNECTICUT HARTFORD - SPRINGFIELD EXPRESSWAY", SCALE 1"=40', DATED 12/1952, SHEET 1 OF 1. FILED AS MAP 4215 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "LAND OF ROSE M. CICERO ENTRY ROAD R.O.W. PARCEL A&B BLOOMFIELD AVENUE WINDSOR, CONN.", SCALE 1"=60', DATED 5/18/1961, SHEET NO. 1. PREPARED BY ALBERT KENIG CONSULTING ENGINEER, WEST HARTFORD, CONNECTICUT AND FILED AS MAP 3-595 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "RIGHT-OF-WAY AND ASSESSMENT PLAN FOR PROPOSED SANITARY SEWER IN A PORTION OF BLOOMFIELD AVE. & PRIVATE LANDS WEST OF I-91 WINDSOR", SCALE 1"=100', DATED 6/1967, PREPARED BY THE METROPOLITAN DISTRICT BUREAU OF PUBLIC WORKS, HARTFORD, CONNECTICUT AND FILED AS MAP 1-184 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "DUNFEY LANE WINDSOR CONN.", SCALE 1"=80', DATED 1970, SHEET NO. 1 OF 8. FILED AS MAP 1-147 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM JOSEPH CICERO JR. ET AL. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91 (LIMITED ACCESS HIGHWAY)", SCALE 1"=40', DATED 7/1988, REVISED 1/9/1989, SHEET 1 OF 1. FILED AS MAP 2999 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM JOSEPH CICERO JR. ET AL. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91 (LIMITED ACCESS HIGHWAY)", SCALE 1"=40', DATED 11/20/1987, REVISED 12/11/1987, 1/13/1988, SHEET 1 OF 1. FILED AS MAP 3000 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "TOWN OF WINDSOR MAP SHOWING LAND ACQUIRED FROM DUNFEY - LANE CORPORATION BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 91", SCALE 1"=40', DATED 11/20/1987, REVISED 11/30/1987, SHEET 1 OF 1. FILED AS MAP 3536 IN THE TOWN OF WINDSOR CLERKS OFFICE.
- "MAP SHOWING PROPERTY OF ROSE M. CICERO WITH THE LOCATION OF THE MUTUAL ENTRY ROAD, BLOOMFIELD AVENUE WINDSOR, CONN.", SCALE 1"=160', DATED 12/9/1960, REVISED 12/13/1960, DRAWING NO. 1-41A, PREPARED BY ALBERT KENIG CIVIL ENGINEER, HARTFORD, CONNECTICUT AND FILED AS MAP 3-571 IN THE TOWN OF WINDSOR CLERKS OFFICE.



TITLE COMMITMENT INFORMATION AND PERIMETER LEGAL DESCRIPTION, SEE SHEET 2 OF 2



SURVEY CERTIFICATION

TO FIRST AMERICAN TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-(1)(c), 13.14.16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 6/5/2023.

DATED: 2/27/2024. SIGNED: Jennifer Marks L.S. #17939



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax

LAND OF
SUSAN J. CICERO & JOSEPH CICERO III, ET. AL.,
TENANCY IN COMMON
60, 80 DUNFEY LANE & 450, 462 BLOOMFIELD AVENUE
WINDSOR, CONNECTICUT

REV/SIONS	No.	Date
Surveyed	JW	
Drawn	JW	
Reviewed	JM	
Scale	1"=50'	
Project No.	2300910	
Date	06/14/2023	
Field Book	570	
CAD File:	AL230091001	

Title
ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 1 of 2

AL-1

Feb 27, 2024 1:37pm technic@bl.com\GIS\2300910\DWG\AL230091001.dwg
User: ACP 14263 4263 102

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FIRST AMERICAN TITLE INSURANCE COMPANY,
SCHEDULE B, SECTION II:

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
AS TO 462 BLOOMFIELD AVENUE			
9	V 223 P 361	EASEMENT IN FAVOR OF THE HARTFORD ELECTRIC COMPANY.	PLOTTED DOES NOT AFFECT
10	V 697 P 293	SLOPE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
AS TO 60 DUNFEY LANE			
11	V 223 P 358	EASEMENT IN FAVOR OF THE HARTFORD ELECTRIC COMPANY.	PLOTTED
AS TO 450 BLOOMFIELD AVENUE			
12	V 146 P 193 V 160 P 3	RESERVATIONS AND WAIVED AND RELINQUISHED RIGHTS IN FAVOR OF THE STATE OF CONNECTICUT. (PREVIOUS ROW, REVISED PER EXCEPTION 17)	DOES NOT AFFECT
13	V 196 P 514	RESERVATION OF RIGHT OF WAY OVER 50 FEET "COMMON PASSAGEWAY/ENTRY ROAD".	PLOTTED
14	V 199 P 253	RIGHTS AND RESTRICTIONS IN FAVOR OF THE METROPOLITAN DISTRICT.	PLOTTED
15	V 211 P 401	CERTIFICATE OF CERTAIN RIGHTS IN FAVOR OF THE METROPOLITAN DISTRICT. (REFERS TO EASEMENT IN EXCEPTION 14)	PLOTTED
16	V 665 P 213	VARIANCE FOR SIGN SIZE.	NOT PLOTTABLE
17	V 694 P 8	DENIED ACCESS RIGHTS IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
18	V 730 P 102	SLOPE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	PLOTTED
AS TO 80 DUNFEY LANE			
NOTE	PARCEL WOULD APPEAR TO BE LANDLOCKED, SEARCHER FOUND NO RECORD EASEMENTS OR RIGHTS OF WAY FOR ACCESS TO PROPERTY.		
AS TO ALL			
19	N/A	NOTES, EASEMENTS, CONDITIONS AND INFORMATION AS SHOW ON SAID MAPS.	PLOTTED
20	V 1124 P 528	SPECIAL USE GRANTED REQUIRING PARKING OTHERWISE PROHIBITED, PARKING IN FRONT OF RETAIL, AFFECTS LOTS 109A, 110, 110C, 111 & 112.	NOT PLOTTABLE
21	V 1792 P 253	TERMS AND CONDITIONS AS SET FORTH IN THE NON-COMPETITION AGREEMENT, AFFECTS TYPE OF BUSINESS ALLOWED TO BE PLACED ONTO LOTS 109A, 110C & 110.	NOT PLOTTABLE

REFERENCE: FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT 6374882,
COMMITMENT DATE: APRIL 7, 2023.

ZONING INFORMATION

LOCATION: BLOOMFIELD AVENUE & DUNFEY LANE, WINDSOR, CONNECTICUT		
ZONE: B-2 (BUSINESS ZONE)		
USE: MULTI-FAMILY RESIDENTIAL (NOT PERMITTED)		
ITEM #	ITEM	REQUIREMENTS
1	MINIMUM LOT AREA	15,000 S.F.
2	MINIMUM LOT FRONTAGE	NONE REQUIRED
3	MINIMUM FRONT SETBACK	10 FEET
4	MINIMUM SIDE SETBACK	30 FEET IF ADJACENT TO ANY RESIDENTIAL, AG, OR NZ ZONE, OTHERWISE NONE REQUIRED.
5	MINIMUM REAR SETBACK	30 FEET
6	MAXIMUM BUILDING HEIGHT	45 FEET/ 3 STORIES
7	MAXIMUM BUILDING COVERAGE	33.3 PERCENT

PERIMETER LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND LOCATED ON THE NORTHERLY SIDE OF BLOOMFIELD AVENUE, CT. ROUTE 305, AND THE EASTERLY SIDE OF DUNFEY LANE, SITUATED IN THE TOWN OF WINDSOR, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, CONTAINING A TOTAL OF 505,733 SQUARE FEET OR 11.61 ACRES, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY LINE OF BLOOMFIELD AVENUE, CT. ROUTE 305, SAID POINT BEING THE DIVISION LINE OF LAND NOW OR FORMERLY SUSAN J. CICERO & JOSEPH CICERO, III, ET. AL. TENANCY IN COMMON, ASSESSORS LOT 109, AND THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;

THENCE ALONG SAID NORTHERLY LINE OF BLOOMFIELD AVENUE, CT. ROUTE 305 NORTH 74°35'13" WEST A DISTANCE OF 179.67 FEET TO A POINT;

THENCE ALONG THE EASTERLY LINE OF DUNFEY LANE THE FOLLOWING EIGHT (8) COURSES AND DISTANCES: NORTH 40°59'20" WEST A DISTANCE OF 42.24 FEET TO A POINT; NORTH 1°03'16" WEST A DISTANCE OF 110.00 FEET TO A POINT; ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 285.00 FEET, A DELTA ANGLE OF 10°35'52"; AN ARC LENGTH OF 52.72 FEET AND A CHORD BEARING OF NORTH 7°45'40" WEST A CHORD DISTANCE OF 52.64 FEET TO A TOWN MONUMENT; NORTH 13°27'39" WEST A DISTANCE OF 110.00 FEET TO A TOWN MONUMENT; ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 405.00 FEET, A DELTA ANGLE OF 7°58'41", AN ARC LENGTH OF 56.39 FEET AND A CHORD BEARING OF NORTH 9°28'11" WEST A CHORD DISTANCE OF 56.35 FEET TO A TOWN MONUMENT; NORTH 5°28'58" WEST A DISTANCE OF 298.57 FEET TO A TOWN MONUMENT; ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 205.00 FEET, A DELTA ANGLE OF 22°07'33"; AN ARC LENGTH OF 79.16 FEET AND A CHORD BEARING OF NORTH 5°34'37" EAST A CHORD DISTANCE OF 78.67 FEET TO A POINT; NORTH 16°38'35" EAST A DISTANCE OF 74.41 FEET TO A POINT;

THENCE ALONG LAND NOW OR FORMERLY GRAND PRIX WINDSOR LLC THE FOLLOWING EIGHT (8) COURSES AND DISTANCES: NORTH 86°59'35" EAST A DISTANCE OF 144.92 FEET TO A POINT; SOUTH 79°54'13" EAST A DISTANCE OF 50.01 FEET TO A POINT; NORTH 10°05'25" EAST A DISTANCE OF 45.47 FEET TO A POINT; NORTH 8°39'00" EAST A DISTANCE OF 244.40 FEET TO A POINT; SOUTH 85°26'04" EAST A DISTANCE OF 388.10 FEET TO A POINT; SOUTH 9°09'27" WEST A DISTANCE OF 225.04 FEET TO A POINT; NORTH 88°09'51" EAST A DISTANCE OF 50.32 FEET TO A POINT; SOUTH 83°49'55" EAST A DISTANCE OF 36.48 FEET TO A POINT;

THENCE ALONG THE WESTERLY LINE OF LAND NOW OR FORMERLY STATE OF CONNECTICUT, INTERSTATE 91, THE FOLLOWING THREE (3) COURSES AND DISTANCES: SOUTH 12°15'15" WEST A DISTANCE OF 225.88 FEET TO A POINT; SOUTH 18°28'26" WEST A DISTANCE OF 225.50 FEET TO A POINT; SOUTH 23°24'32" WEST A DISTANCE OF 217.36 FEET TO A POINT;

THENCE ALONG SAID LAND OF SUSAN J. CICERO & JOSEPH CICERO, III, ET. AL. TENANCY IN COMMON, ASSESSORS LOT 109, NORTH 85°44'15" WEST A DISTANCE OF 228.09 FEET TO A POINT; SOUTH 1°16'14" EAST A DISTANCE OF 244.21 FEET TO THE POINT AND PLACE OF BEGINNING.

ALSO BEING KNOWN AS 450 & 462 BLOOMFIELD AVENUE AND 60 & 80 DUNFEY LANE, WINDSOR, CONNECTICUT.

SURVEY PLAN, GENERAL
NOTES AND CERTIFICATION,
SEE SHEET 1 OF 2



355 Research Parkway
Meriden, CT 06450
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SUSAN J. CICERO & JOSEPH CICERO III, ET. AL.,
TENANCY IN COMMON
 60, 80 DUNFEY LANE & 450, 462 BLOOMFIELD AVENUE
 WINDSOR, CONNECTICUT

REV/ISS Date

Surveyed JW
 Drawn JW
 Reviewed JM
 Scale 1"=50'
 Project No. 2300910
 Date 06/14/2023
 Field Book 570
 CAD File: AL230091001

Title
ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 1 of 2

AL-1



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

Desc. Down Wellbore Comments
Date 06-04-2024
Drawn 06-04-2024
Town Comment Staff Development Meeting

REVISIONS

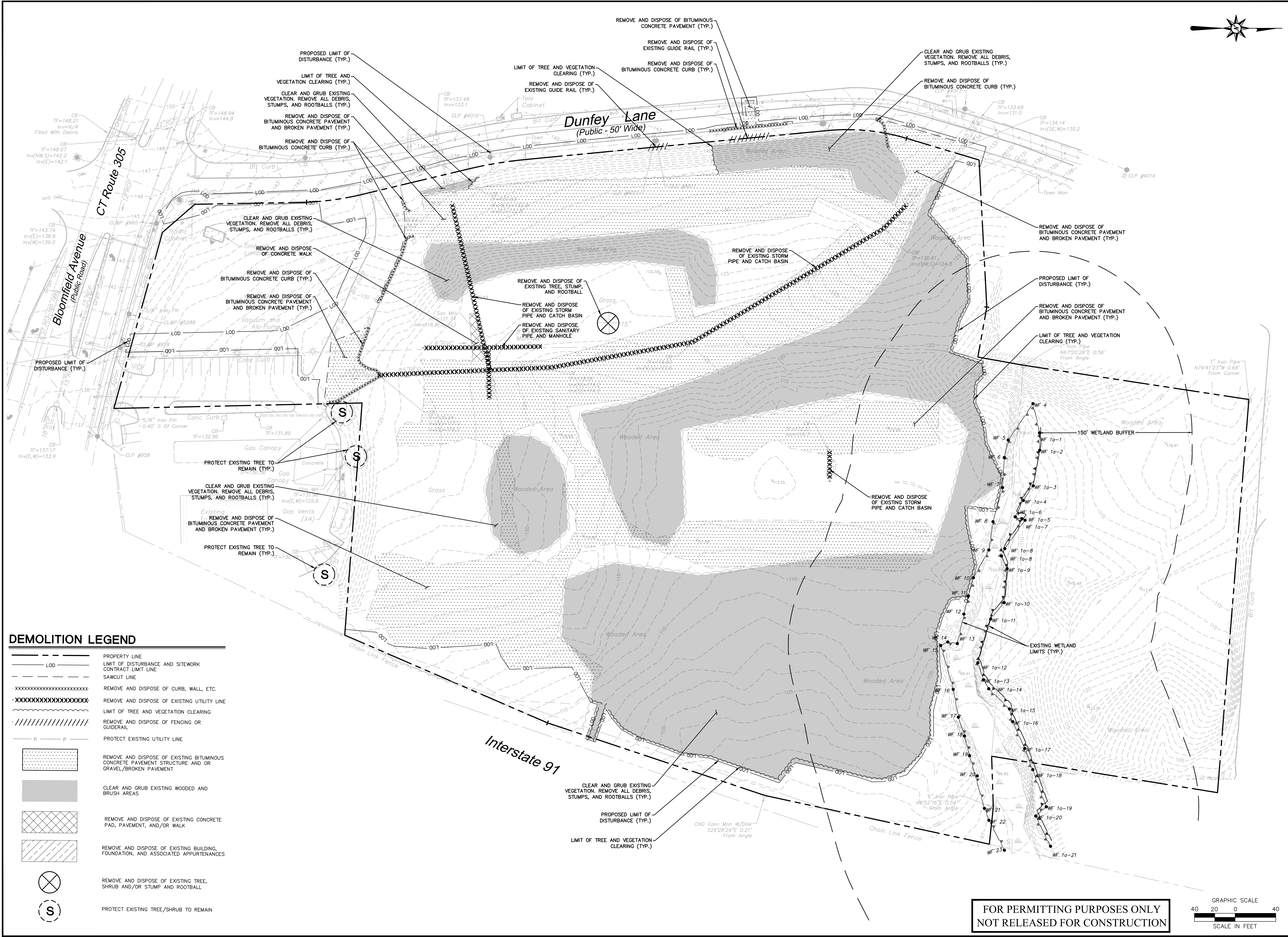
No.	Date	Description
1	06-04-2024	Initial Plan Submission
2	06-04-2024	Town Comment Staff Development Meeting

Designed	M.A.G.
Drawn	M.A.G.
Reviewed	
Scale	1"=40'
Project No.	2300910
Date	02/27/2024
CAD File:	DM230091001
Title	









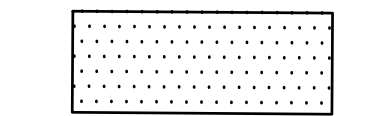





**DEMOLITION
PLAN**

Sheet No.

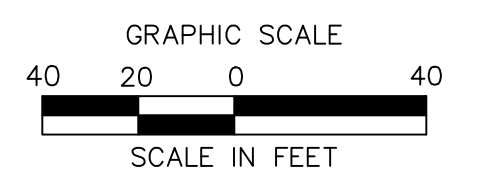
DM-1

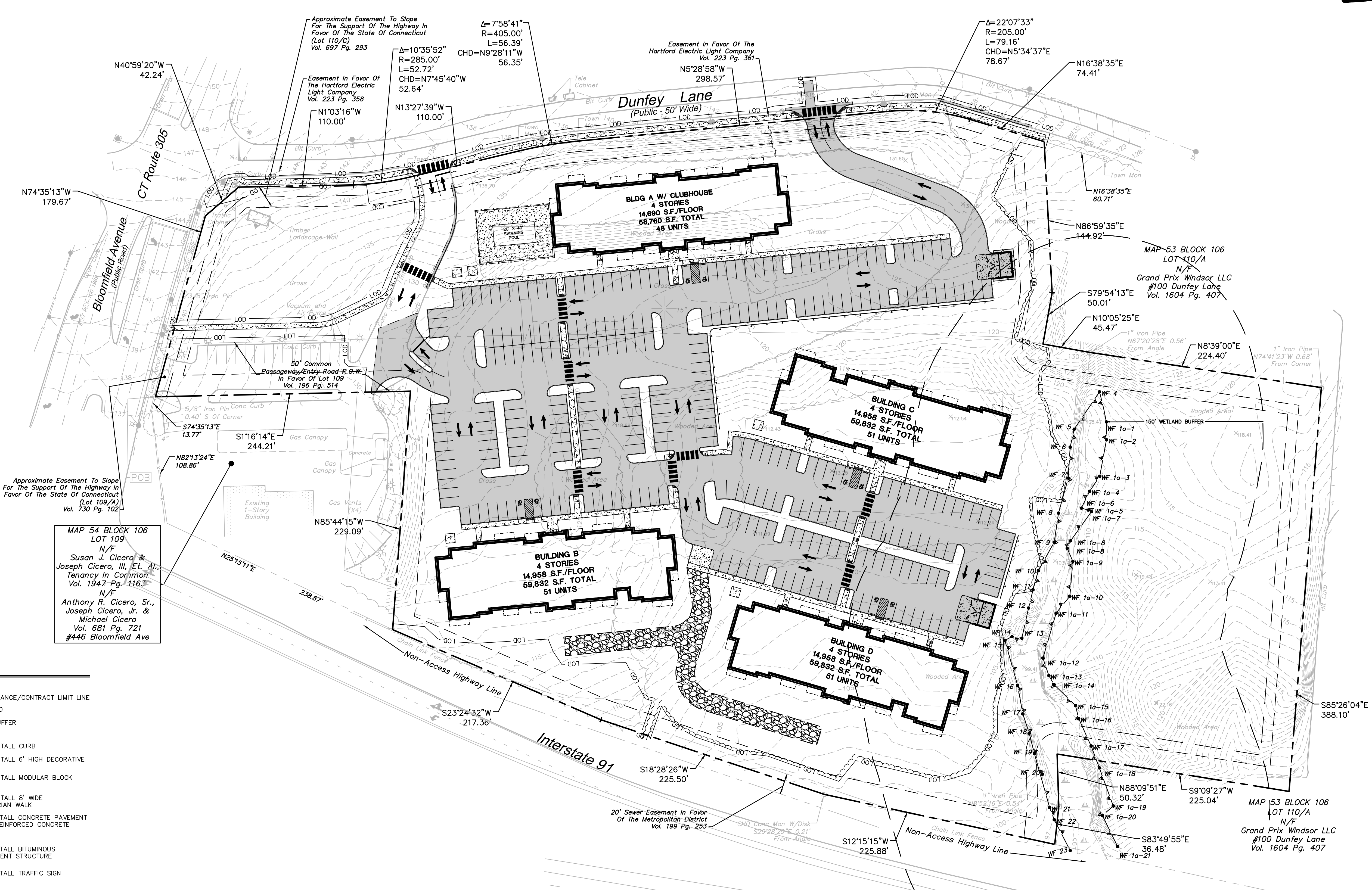
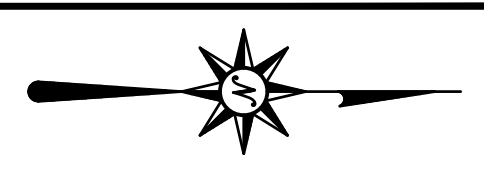


DEMOLITION LEGEND

-  PROPERTY LINE
-  LIMIT OF DISTURBANCE AND SITEWORK CONTRACT LIMIT LINE
-  SAWCUT LIMIT LINE
-  REMOVE AND DISPOSE OF CURB, WALL, ETC.
-  REMOVE AND DISPOSE OF EXISTING UTILITY LINE
-  LIMIT OF TREE AND VEGETATION CLEARING
-  REMOVE AND DISPOSE OF FENCING OR GUIDERAIL
-  PROTECT EXISTING UTILITY LINE
-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE AND OR GRAVEL/BROKEN PAVEMENT
-  CLEAR AND GRUB EXISTING WOODED AND BRUSH AREAS
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAD, PAVEMENT, AND/OR WALK
-  REMOVE AND DISPOSE OF EXISTING BUILDING, FOUNDATION, AND ASSOCIATED APPURTENANCES
-  REMOVE AND DISPOSE OF EXISTING TREE, SHRUB AND/OR STUMP AND ROOTBALL
-  PROTECT EXISTING TREE/SHRUB TO REMAIN

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION





SITE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
- EXISTING WETLAND
- 150' WETLAND BUFFER
- SAWCUT LINE
- PROVIDE AND INSTALL CURB
- PROVIDE AND INSTALL 6' HIGH DECORATIVE ALUMINUM FENCE
- PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
- PROVIDE AND INSTALL 8' WIDE PAINTED PEDESTRIAN WALK
- PROVIDE AND INSTALL CONCRETE PAVEMENT STRUCTURE OR REINFORCED CONCRETE SIDEWALK
- PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- PROVIDE AND INSTALL TRAFFIC SIGN

ZONING INFORMATION

LOCATION: WINDSOR, CONNECTICUT				
ZONE: HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT IN B-2 (BUSINESS ZONE)				
USE: MULTI-FAMILY RESIDENTIAL (PERMITTED BY HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM TOTAL LOT AREA	10 AC.	505,733 S.F. (11.61 AC.)	NO
2	MINIMUM DEVELOPABLE AREA	5 AC.	454,385 S.F. (10.43 AC.)	NO
3	MINIMUM LOT WIDTH	75 FEET	173.6 FEET AT BLOOMFIELD AVE.	NO
4	MINIMUM FRONT SETBACK	10 FEET	32.2 FEET	NO
5	MINIMUM SIDE SETBACK	30 FEET IF ADJACENT TO ANY RESIDENTIAL, AC. OR VZ ZONE, OTHERWISE NONE REQUIRED.	24.7 FEET	NO
6	MINIMUM REAR SETBACK	30 FEET	N/A	NO
7	MAXIMUM IMPERVIOUS COVERAGE	75 PERCENT	37.8 PERCENT	NO
8	MAXIMUM BUILDING COVERAGE	33.3 PERCENT	11.8 PERCENT	NO
9	MAXIMUM BUILDING HEIGHT	50 FEET / 4 STORIES	<50 FEET / 4 STORIES	NO*
10	MAXIMUM RESIDENTIAL DENSITY	20 DWELLING UNITS PER ACRE OF DEVELOPABLE LAND	201 UNITS/10.43 AC. =19.3 UNITS/AC.	NO

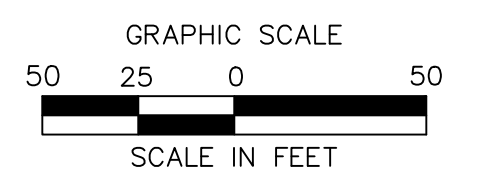
PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	±59,564 S.F.	NO
2	PARKING REQUIRED	RESIDENTIAL: 1.5 SPACES PER STUDIO & 1-BEDROOM DWELLING UNIT (106 1-BEDROOM UNITS = 159 SPACES) 1.5 SPACES PER DWELLING UNIT CONTAINING 2 OR MORE BEDROOMS (95 2-BEDROOM UNITS = 143 SPACES) = 302 TOTAL SPACES	304 SPACES (1)	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	7 SPACES	8 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET 9 FEET X 20 FEET (IF PARKING SPACE DOES NOT FRONT ON A CURBED WHEEL STOP)	9 FEET X 18 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET -- 2-WAY	24 FEET -- 2-WAY	NO
6	MINIMUM FRONT SETBACK	20 FEET	112.8 FEET	NO
7	MINIMUM SIDE SETBACK	20 FEET	21.8 FEET	NO
8	MINIMUM REAR SETBACK	20 FEET	N/A	NO
9	MINIMUM INTERIOR LANDSCAPING	ONE TREE PER 10 PARKING SPACES.	MINIMUM ONE TREE FOR EVERY 10 SPACES	NO

WETLAND IMPACT

TOTAL AREA OF WETLANDS ON PROPERTY	0.28 AC
TOTAL REGULATED AREA ON PROPERTY	3.53 AC
AREA OF WETLANDS TO BE DISTURBED	0 AC
AREA OF REGULATED AREA TO BE DISTURBED	1.38 AC

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

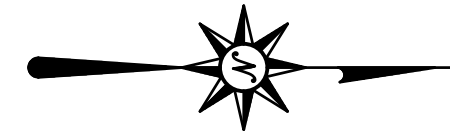


PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
450 & 462 BLOOMFIELD AVENUE
WINDSOR, CONNECTICUT

REVISIONS
Date: 04-2024
Drawn: M.A.G.
Reviewed: M.A.G.
Scale: 1"=50'
Project No: 2300910
Date: 02/27/2024
CAD File: SP230091001

Overall Site Plan
Sheet No. SP-0

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**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

Desc. Down Wetland Comments
Town Comment Staff Development Meeting
Date 04-20-2024
06-04-2024

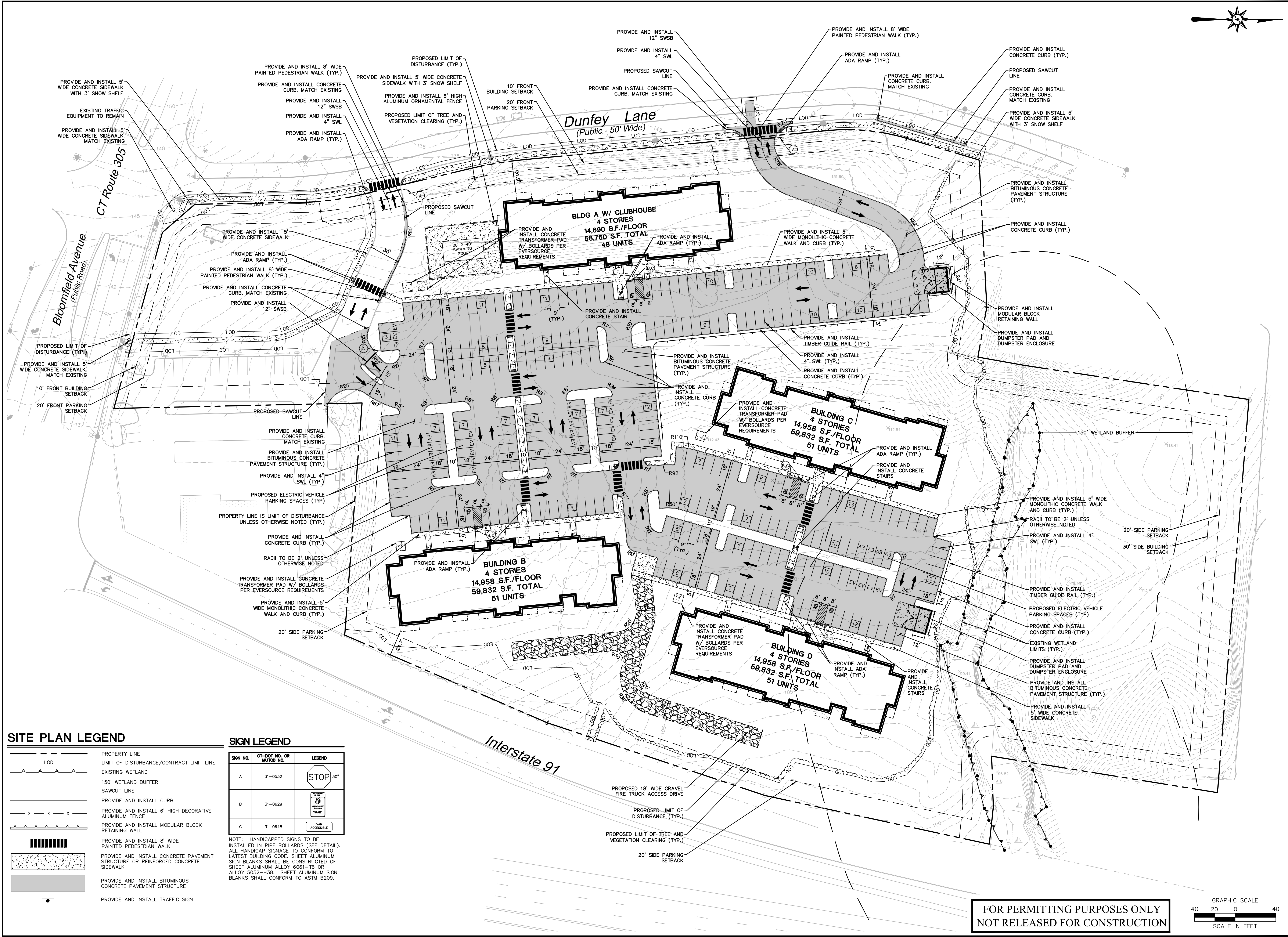
REVISIONS

No.	Date	Description
1	04-20-2024	Initial Plan Submission
2	06-04-2024	Staff Development Meeting

Designed M.A.G.
Drawn M.A.G.
Reviewed
Scale 1"=40'
Project No. 2300910
Date 02/27/2024
CAD File: SP230091001

SITE PLAN

Sheet No.



SITE PLAN LEGEND

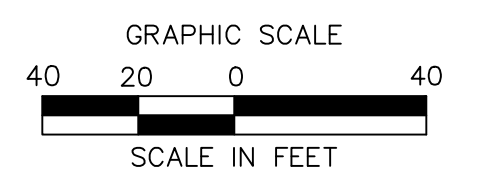
	PROPERTY LINE
	LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
	EXISTING WETLAND
	150' WETLAND BUFFER
	SAWCUT LINE
	PROVIDE AND INSTALL CURB
	PROVIDE AND INSTALL 6' HIGH DECORATIVE ALUMINUM FENCE
	PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
	PROVIDE AND INSTALL 8' WIDE PAINTED PEDESTRIAN WALK
	PROVIDE AND INSTALL CONCRETE PAVEMENT STRUCTURE OR REINFORCED CONCRETE SIDEWALK
	PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	PROVIDE AND INSTALL TRAFFIC SIGN

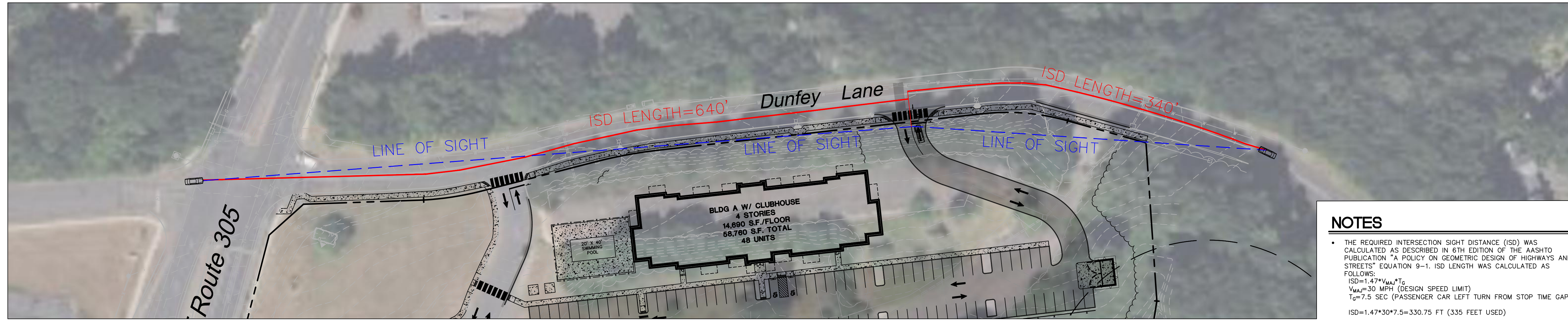
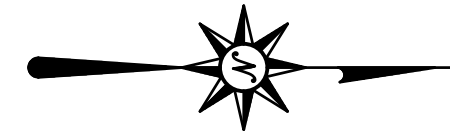
SIGN LEGEND

SIGN NO.	CT-DOT NO. OR MUTCD NO.	LEGEND
A	31-0532	30"
B	31-0629	
C	31-0648	

NOTE: HANDICAPPED SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL HANDICAP SIGNAGE TO CONFORM TO LATEST BUILDING CODE. SHEET ALUMINUM SIGN BLANKS SHALL BE CONSTRUCTED OF SHEET ALUMINUM ALLOY 6061-T6 OR ALLOY 5052-H38. SHEET ALUMINUM SIGN BLANKS SHALL CONFORM TO ASTM B209.

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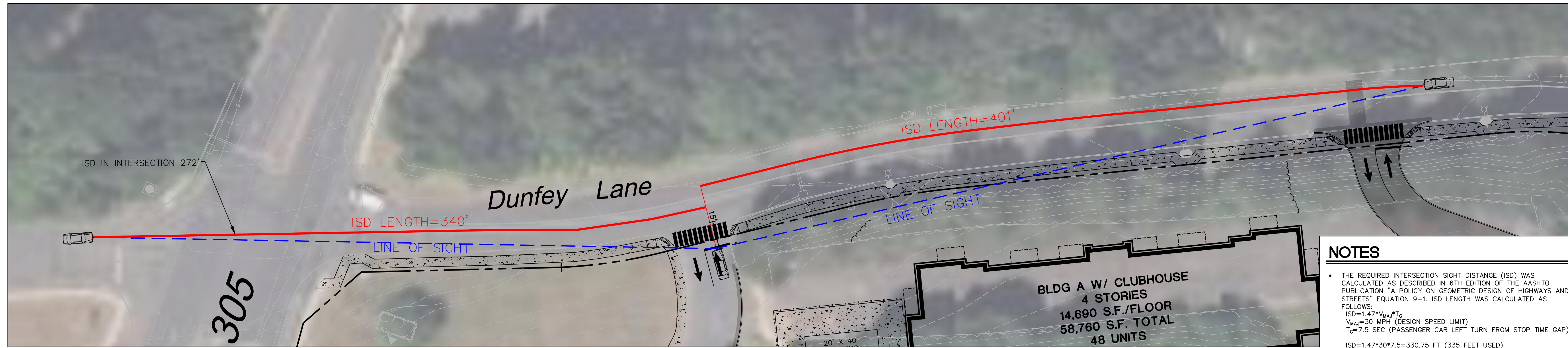




NOTES

- THE REQUIRED INTERSECTION SIGHT DISTANCE (ISD) WAS CALCULATED AS DESCRIBED IN 6TH EDITION OF THE AASHTO PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" EQUATION 9-1. ISD LENGTH WAS CALCULATED AS FOLLOWS:
 $ISD = 1.47 * V_{max} * T_0$
 $V_{max} = 30$ MPH (DESIGN SPEED LIMIT)
 $T_0 = 7.5$ SEC (PASSENGER CAR LEFT TURN FROM STOP TIME GAP)
 $ISD = 1.47 * 30 * 7.5 = 330.75$ FT (335 FEET USED)

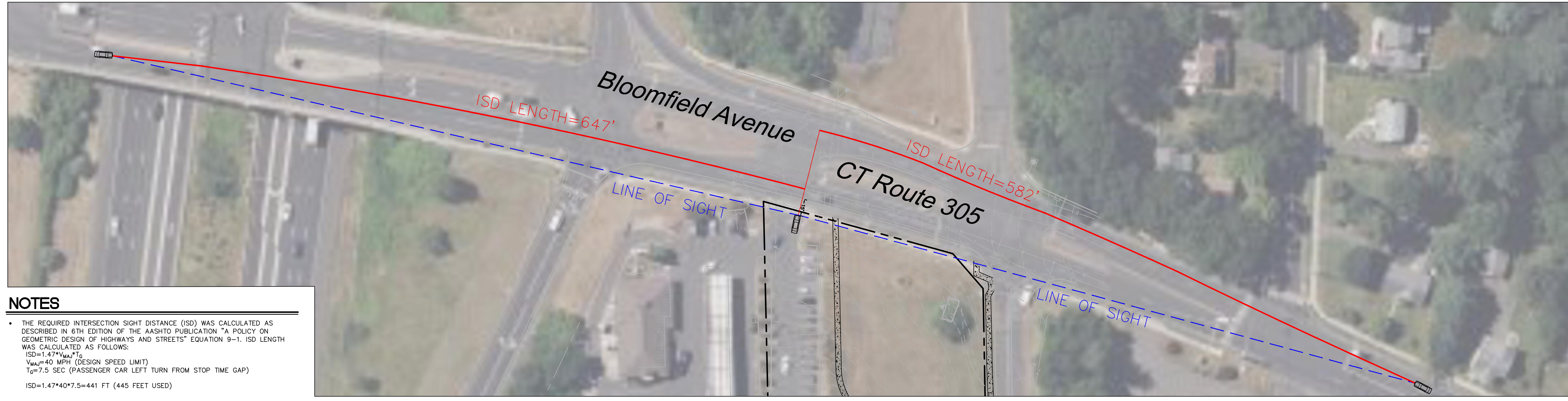
SIGHT DISTANCE - DUNFEE LANE NORTHERN DRIVEWAY (SCALE 1"=50')



NOTES

- THE REQUIRED INTERSECTION SIGHT DISTANCE (ISD) WAS CALCULATED AS DESCRIBED IN 6TH EDITION OF THE AASHTO PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" EQUATION 9-1. ISD LENGTH WAS CALCULATED AS FOLLOWS:
 $ISD = 1.47 * V_{max} * T_0$
 $V_{max} = 30$ MPH (DESIGN SPEED LIMIT)
 $T_0 = 7.5$ SEC (PASSENGER CAR LEFT TURN FROM STOP TIME GAP)
 $ISD = 1.47 * 30 * 7.5 = 330.75$ FT (335 FEET USED)

SIGHT DISTANCE - DUNFEE LANE SOUTHERN DRIVEWAY (SCALE 1"=30')



NOTES

- THE REQUIRED INTERSECTION SIGHT DISTANCE (ISD) WAS CALCULATED AS DESCRIBED IN 6TH EDITION OF THE AASHTO PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" EQUATION 9-1. ISD LENGTH WAS CALCULATED AS FOLLOWS:
 $ISD = 1.47 * V_{max} * T_0$
 $V_{max} = 40$ MPH (DESIGN SPEED LIMIT)
 $T_0 = 7.5$ SEC (PASSENGER CAR LEFT TURN FROM STOP TIME GAP)
 $ISD = 1.47 * 40 * 7.5 = 441$ FT (445 FEET USED)

SIGHT DISTANCE - BLOOMFIELD AVENUE DRIVEWAY (SCALE 1"=50')

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

REVISIONS

No.	Date	Description
1	04-20-2024	Initial Plan Submission
2	06-04-2024	Town Comment Staff Development Meeting

Designed	J.R.F
Drawn	J.R.F
Reviewed	
Scale	1"=40'
Project No.	2300910
Date	02/27/2024
CAD File:	SD230091001

Title
SIGHT DISTANCE PLAN

Sheet No.

SD-1

**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
WINDSOR, CONNECTICUT

Disc. Down Wellhead Comments
Site Plan Submission
Town Comment Staff Development Meeting

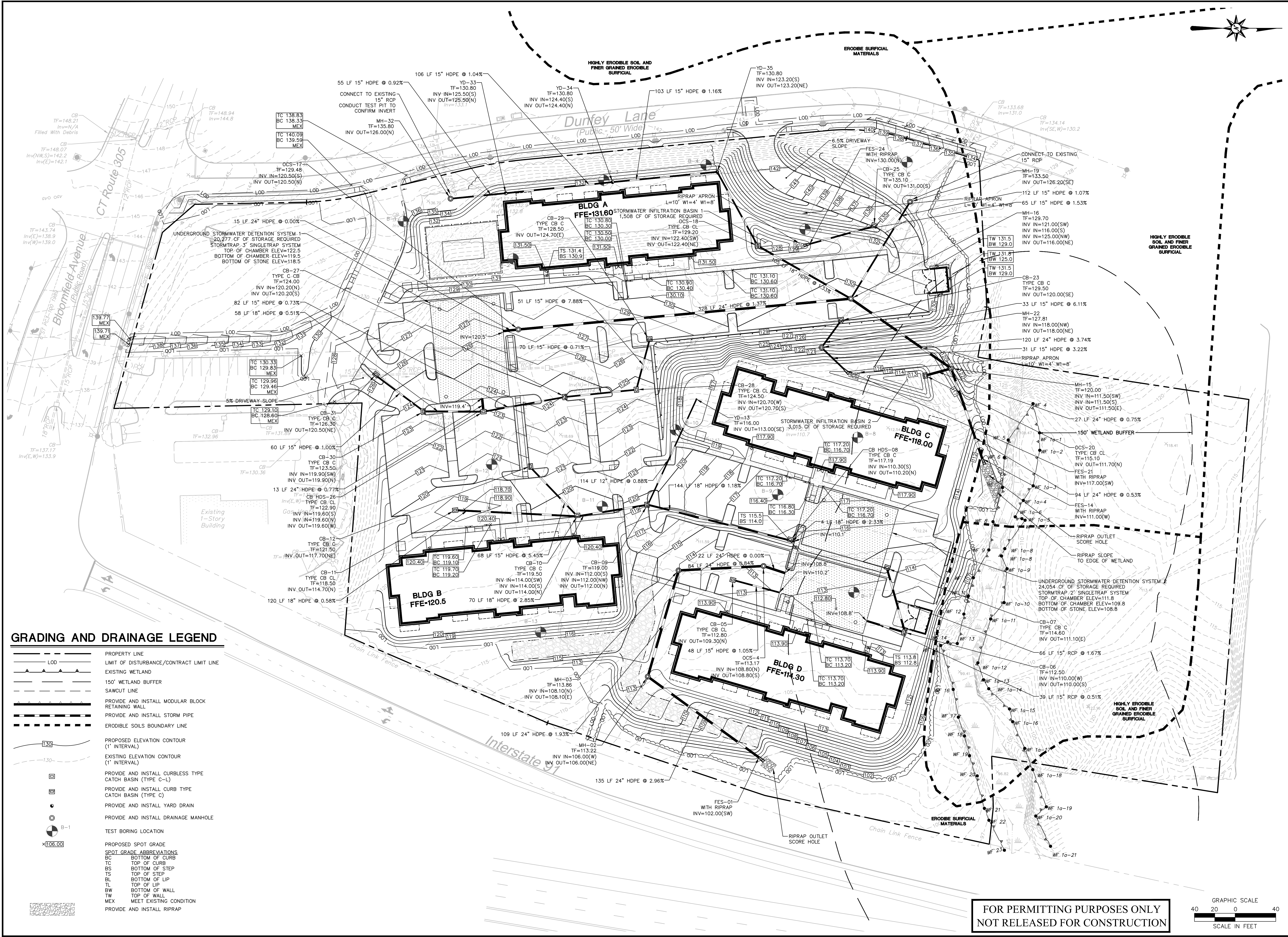
REVISIONS
Date
By
No.

Designed C.J.L.
Drawn C.J.L.
Reviewed
Scale 1"=40'
Project No. 2300910
Date 02/27/2024
CAD File: GD230091001

**GRADING AND
DRAINAGE PLAN**

Sheet No.

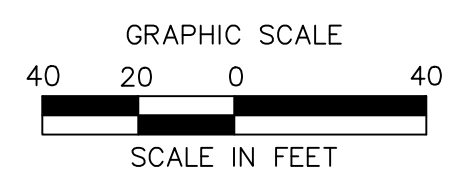
GD-1



GRADING AND DRAINAGE LEGEND

- LOD PROPERTY LINE
- LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
- - - EXISTING WETLAND
- - - 150' WETLAND BUFFER
- - - SAWCUT LINE
- PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
- PROVIDE AND INSTALL STORM PIPE
- - - ERODIBLE SOILS BOUNDARY LINE
- 130 PROPOSED ELEVATION CONTOUR (1' INTERVAL)
- - - EXISTING ELEVATION CONTOUR (1' INTERVAL)
- PROVIDE AND INSTALL CURBLESS TYPE CATCH BASIN (TYPE C-L)
- PROVIDE AND INSTALL CURB TYPE CATCH BASIN (TYPE C)
- PROVIDE AND INSTALL YARD DRAIN
- PROVIDE AND INSTALL DRAINAGE MANHOLE
- B-1 TEST BORING LOCATION
- 106.00 PROPOSED SPOT GRADE
- SPOT GRADE ABBREVIATIONS
- BC BOTTOM OF CURB
- TC TOP OF CURB
- BS BOTTOM OF STEP
- TS TOP OF STEP
- BL BOTTOM OF LIP
- TL TOP OF LIP
- BW BOTTOM OF WALL
- TW TOP OF WALL
- MEX MEET EXISTING CONDITION
- PROVIDE AND INSTALL RIPRAP

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION





**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
WINDSOR, CONNECTICUT

REVISIONS

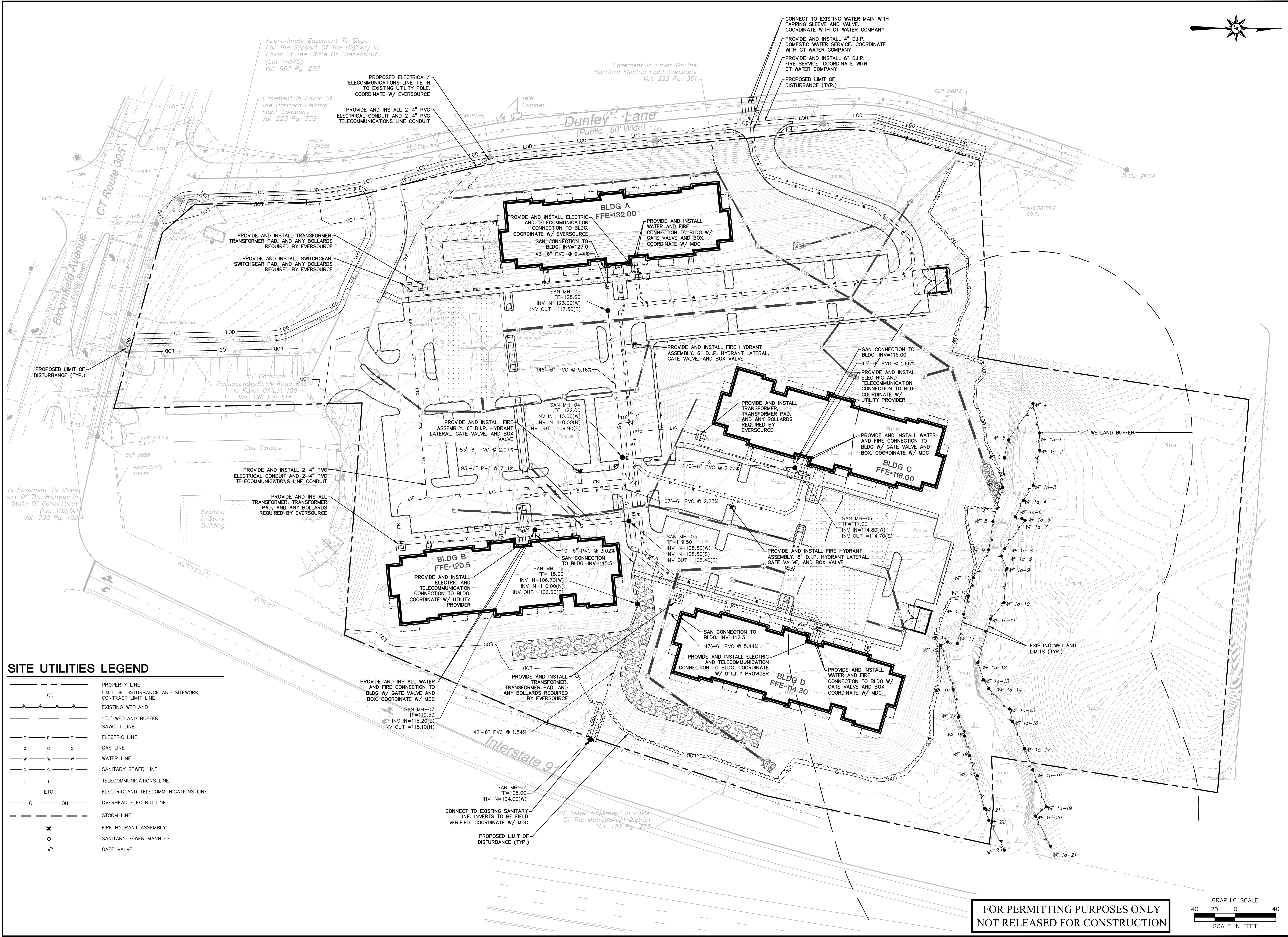
No.	Date	Description
1	04-20-2024	Disc. Town Wetland Comments
2	05-03-2024	Disc. Town Comment Staff Development Meeting
3	06-04-2024	Disc. Town Comment Staff Development Meeting

Designed	M.A.G.
Drawn	M.A.G.
Reviewed	
Scale	1"=40'
Project No.	2300910
Date	02/27/2024
CAD File:	SU230091001

**SITE UTILITIES
PLAN**

Sheet No.

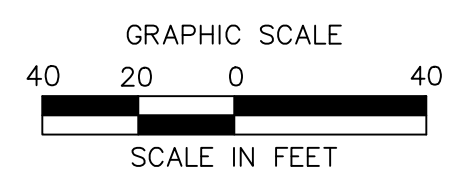
SU-1



SITE UTILITIES LEGEND

---	PROPERTY LINE
---	LIMIT OF DISTURBANCE AND SITWORK CONTRACT LIMIT LINE
---	EXISTING WETLAND
---	150' WETLAND BUFFER
---	SAWCUT LINE
---	ELECTRIC LINE
---	GAS LINE
---	WATER LINE
---	SANITARY SEWER LINE
---	TELECOMMUNICATIONS LINE
---	ELECTRIC AND TELECOMMUNICATIONS LINE
---	OVERHEAD ELECTRIC LINE
---	STORM LINE
○	FIRE HYDRANT ASSEMBLY
○	SANITARY SEWER MANHOLE
○	GATE VALVE

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION





**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

REVISIONS

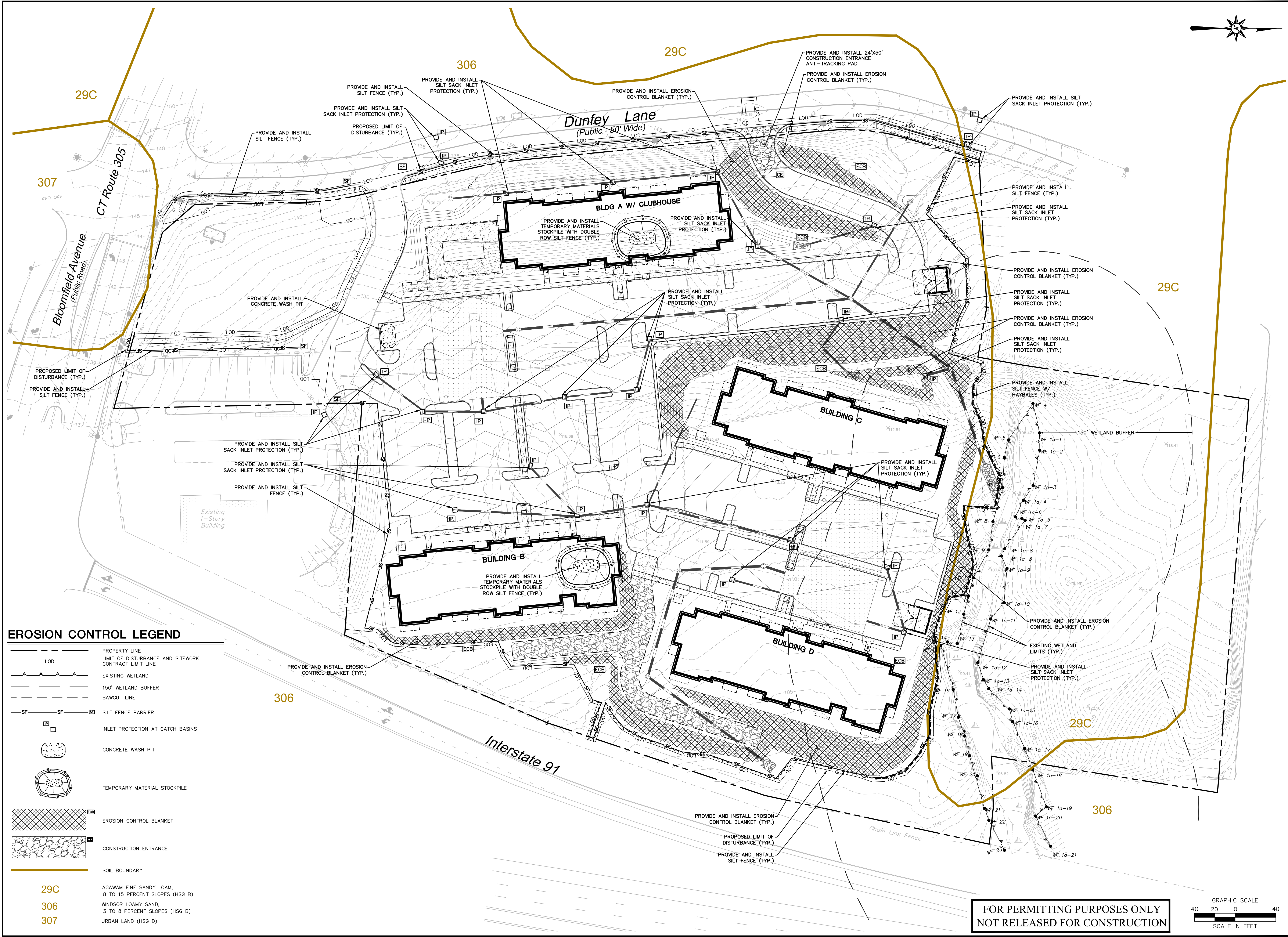
No.	Date	Description
1	04-01-2024	Issue for Plan Submission
2	04-02-2024	Plan Revision
3	06-04-2024	Town Comment Staff Development Meeting

Designed	M.A.G.
Drawn	M.A.G.
Reviewed	
Scale	1"=40'
Project No.	2300910
Date	02/27/2024
CAD File:	EC230091001

**SEDIMENT AND
EROSION
CONTROL PLAN**

Sheet No.

EC-1

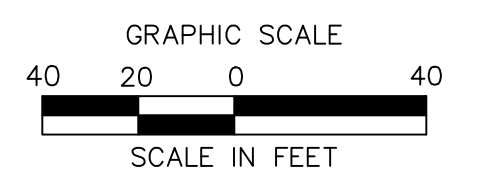


EROSION CONTROL LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITWORK CONTRACT LIMIT LINE
	EXISTING WETLAND
	150' WETLAND BUFFER
	SAWCUT LINE
	SILT FENCE BARRIER
	INLET PROTECTION AT CATCH BASINS
	CONCRETE WASH PIT
	TEMPORARY MATERIAL STOCKPILE
	EROSION CONTROL BLANKET
	CONSTRUCTION ENTRANCE
	SOIL BOUNDARY

29C	AGAWAM FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES (HSG B)
306	WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES (HSG B)
307	URBAN LAND (HSG D)

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**





**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

Desc.
Town Warrants, Comments
Town Comment Staff Development Meeting

REVISED
Date 06-04-2024
Drawn 06-04-2024
Reviewed 06-04-2024

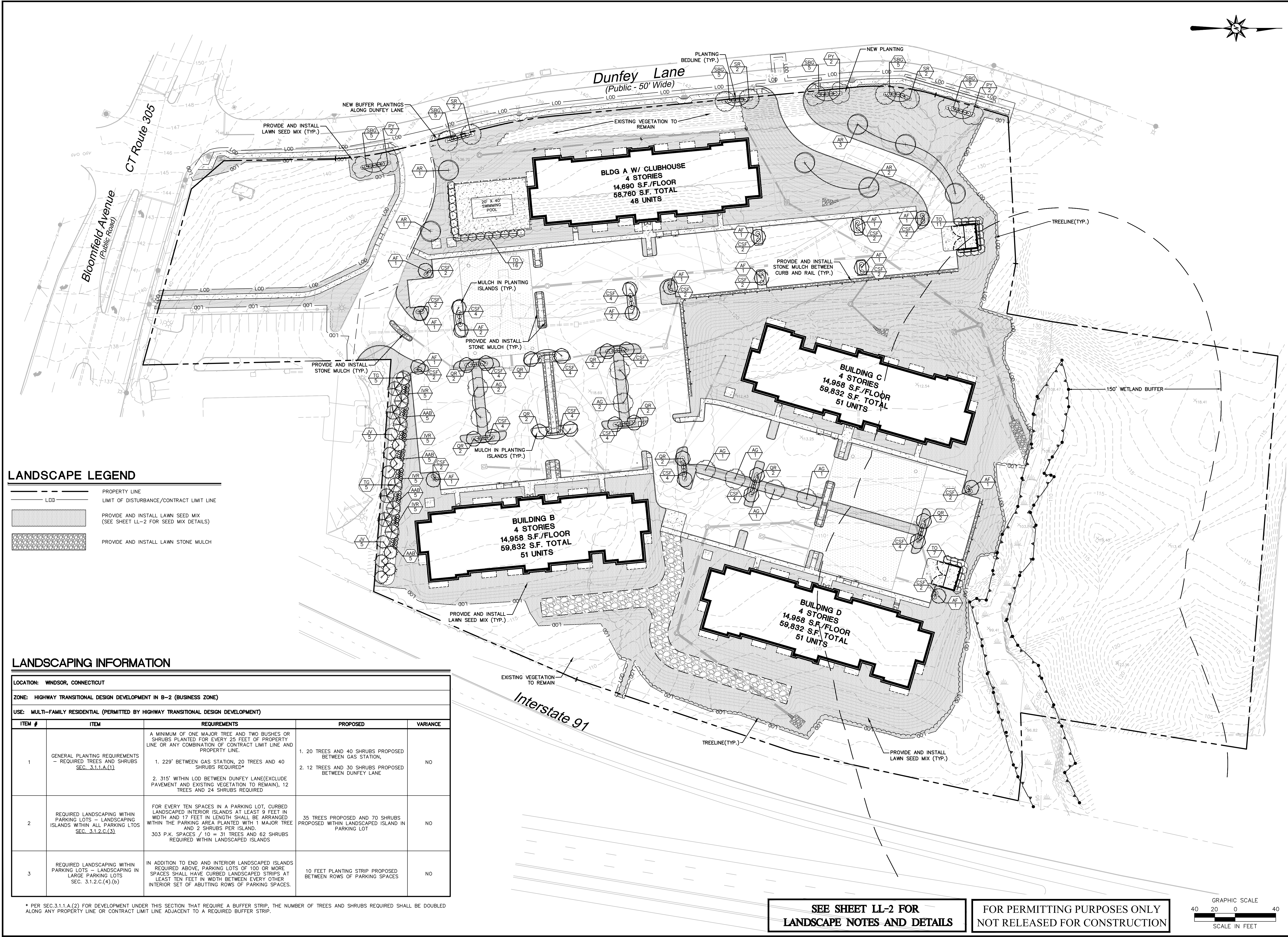
No. 1

Designed N.Y.Y.
Drawn N.Y.Y.
Reviewed J.C.W.
Scale 1"=40'
Project No. 2300910
Date 02/27/2024
CAD File: LL230091001



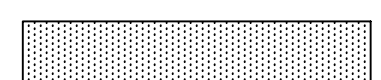
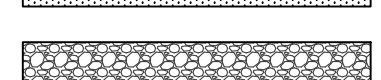
LANDSCAPE PLAN

Sheet No.

LL-1



LANDSCAPE LEGEND

-  PROPERTY LINE
-  LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
-  PROVIDE AND INSTALL LAWN SEED MIX (SEE SHEET LL-2 FOR SEED MIX DETAILS)
-  PROVIDE AND INSTALL LAWN STONE MULCH

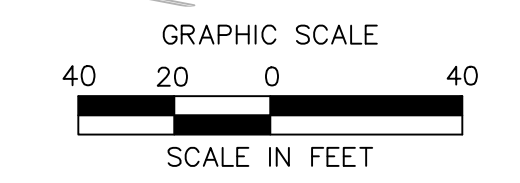
LANDSCAPING INFORMATION

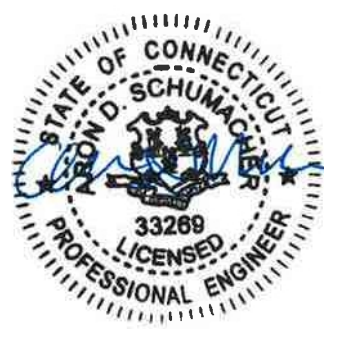
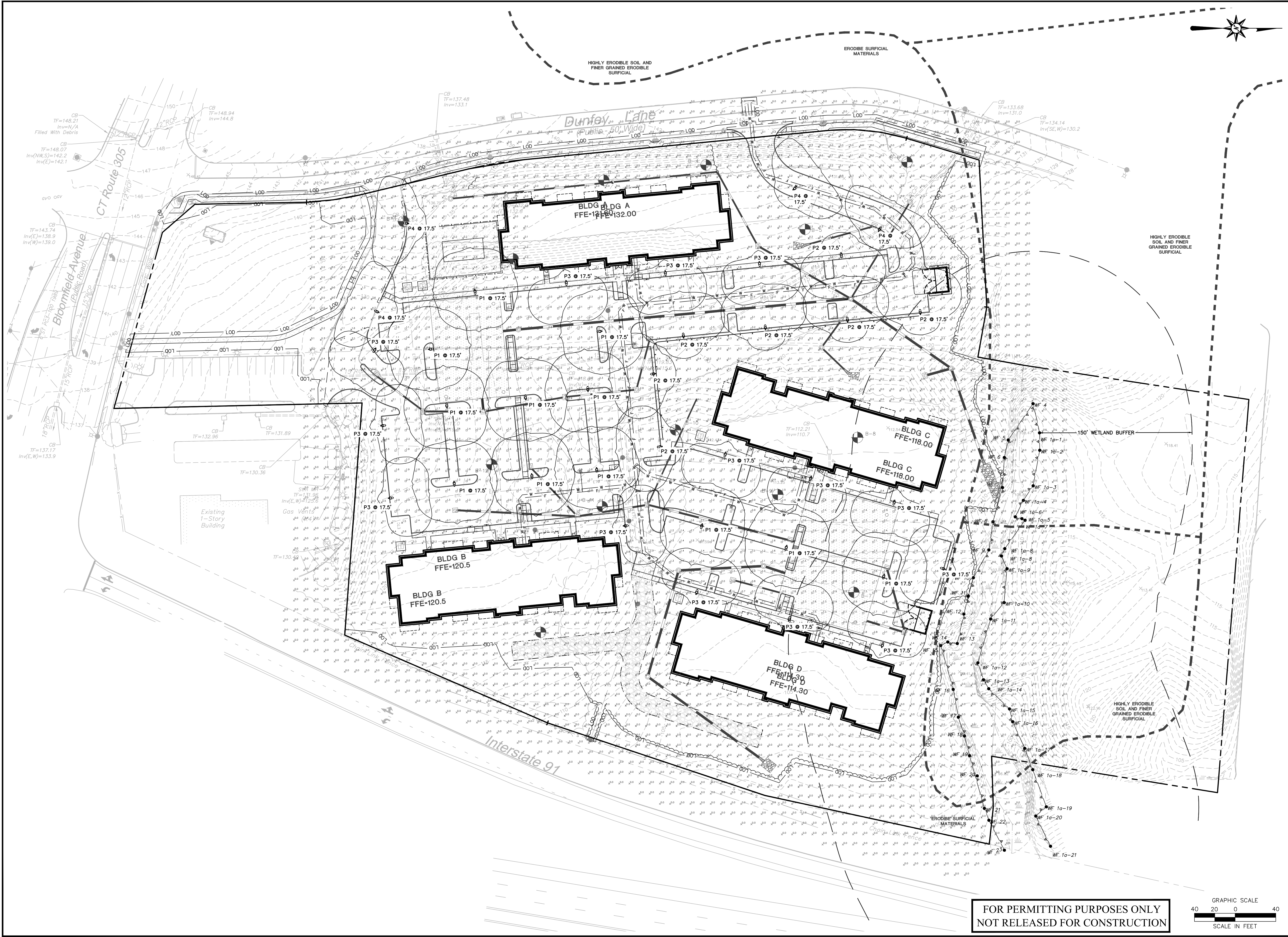
LOCATION: WINDSOR, CONNECTICUT				
ZONE: HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT IN B-2 (BUSINESS ZONE)				
USE: MULTI-FAMILY RESIDENTIAL (PERMITTED BY HIGHWAY TRANSITIONAL DESIGN DEVELOPMENT)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	GENERAL PLANTING REQUIREMENTS - REQUIRED TREES AND SHRUBS SEC. 3.1.1.A.(1)	1. 229' BETWEEN GAS STATION, 20 TREES AND 40 SHRUBS REQUIRED* 2. 315' WITHIN LOD BETWEEN DUNFEY LANE (EXCLUDE PAVEMENT AND EXISTING VEGETATION TO REMAIN), 12 TREES AND 24 SHRUBS REQUIRED	1. 20 TREES AND 40 SHRUBS PROPOSED BETWEEN GAS STATION, 2. 12 TREES AND 30 SHRUBS PROPOSED BETWEEN DUNFEY LANE	NO
2	REQUIRED LANDSCAPING WITHIN PARKING LOTS - LANDSCAPING ISLANDS WITHIN ALL PARKING LOTS SEC. 3.1.2.C.(3)	FOR EVERY TEN SPACES IN A PARKING LOT, CURBED LANDSCAPED INTERIOR ISLANDS AT LEAST 9 FEET IN WIDTH AND 17 FEET IN LENGTH SHALL BE ARRANGED WITHIN THE PARKING AREA PLANTED WITH 1 MAJOR TREE AND 2 SHRUBS PER ISLAND. 303 P.K. SPACES / 10 = 31 TREES AND 62 SHRUBS REQUIRED WITHIN LANDSCAPED ISLANDS	35 TREES PROPOSED AND 70 SHRUBS PROPOSED WITHIN LANDSCAPED ISLAND IN PARKING LOT	NO
3	REQUIRED LANDSCAPING WITHIN PARKING LOTS - LANDSCAPING IN LARGE PARKING LOTS SEC. 3.1.2.C.(4)(b)	IN ADDITION TO END AND INTERIOR LANDSCAPED ISLANDS REQUIRED ABOVE, PARKING LOTS OF 100 OR MORE SPACES SHALL HAVE CURBED LANDSCAPED STRIPS AT LEAST TEN FEET IN WIDTH BETWEEN EVERY OTHER INTERIOR SET OF ABUTTING ROWS OF PARKING SPACES.	10 FEET PLANTING STRIP PROPOSED BETWEEN ROWS OF PARKING SPACES	NO

* PER SEC.3.1.1.A.(2) FOR DEVELOPMENT UNDER THIS SECTION THAT REQUIRE A BUFFER STRIP, THE NUMBER OF TREES AND SHRUBS REQUIRED SHALL BE DOUBLED ALONG ANY PROPERTY LINE OR CONTRACT LIMIT LINE ADJACENT TO A REQUIRED BUFFER STRIP.

**SEE SHEET LL-2 FOR
LANDSCAPE NOTES AND DETAILS**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**





**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

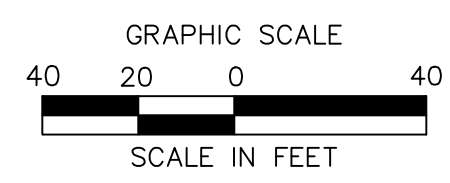
Desc. Down Wellhead Comments
Date 04-03-2024
Surf. Plan Submission
Town Comment Staff Development Meeting
06-04-2024

REVISIONS	No.	Date	By
	1	04-03-2024	J.S.D.
	2	06-04-2024	J.S.D.

Designed J.S.D.
Drawn J.S.D.
Reviewed
Scale 1"=40'
Project No. 2300910
Date 02/27/2024
CAD File: LP230091001

Title
LIGHTING PLAN
Sheet No.
LP-1

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



SITE WORK GENERAL NOTES

- 1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, MUNICIPAL STANDARDS AND SPECIFICATIONS, CT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL, THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
10. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CT CALL BEFORE YOU DIG (CBYD) 72 HOURS BEFORE COMMENCEMENT OF WORK AT CT (800) 922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
11. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
12. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BIDDING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
13. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
14. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
15. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
16. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEMED UNACCEPTABLE.
18. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
19. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK EXCEPT CTDOT ENCROACHMENT PERMIT BOND.
20. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
21. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
22. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
23. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
24. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
26. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
27. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
28. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
29. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
30. PAVEMENT MARKING KEY:
4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30" SPACE
31. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
32. ALL NON-THERMOPLASTIC PAVEMENT MARKINGS SHALL HAVE TWO COATS APPLIED. PAVEMENT MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.
33. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
34. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
35. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY", SCALE 1"=50', DATED 06/14/2023, BY BL COMPANIES INC.
36. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
37. CTDOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CTDOT ENCROACHMENT PERMIT BOND.
38. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
39. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
40. THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY REMA ECOLOGICAL SERVICES, LLC MAPPING.
41. 12" SWB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CONDOT SPECIFICATIONS.
42. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
43. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY WITH METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
44. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
45. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
46. THE CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
47. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
48. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY

- THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
49. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
50. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
51. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
52. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
53. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
54. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
55. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEMAND NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
56. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
57. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
58. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAINT.
59. EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.
60. DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
61. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
62. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE WINDSOR BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
63. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
64. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAY AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
65. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE REGRouted OR REMOVED AS NECESSARY TO REMAIN IN OPERATION.
66. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE 'CT CALL BEFORE YOU DIG' MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
67. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
68. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
69. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
70. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
71. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE CTDPH AND HEALTH CODE REQUIREMENTS.
72. THE EXISTING PARKING AREA AND DRIVEWAYS SHALL REMAIN OPEN FOR NORMAL BUSINESS OPERATIONS UNTIL COMPLETION AND OCCUPATION OF THE NEW BUILDING.
73. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
74. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
75. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
76. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
77. VERTICAL DATUM IS NAVD 88.
78. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF WINDSOR AGENT PRIOR TO THE START OF WORK ON THE SITE.
79. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CT DEEP AND THE 2023 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. LATERAL EROSION AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION DISTRICT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
80. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE CT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
81. ALL DISTURBANCE INCURRED TO MUNICIPAL AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.
82. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
83. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY THE ARCHITECT FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
84. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
85. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
86. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
87. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
88. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
89. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
90. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
91. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
92. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
93. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.

- BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
95. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
96. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT, AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
97. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
98. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
99. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
100. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
101. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
102. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
103. ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDBOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDBOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
104. ALL WATER LINES TO HAVE A MINIMUM COVER OF 4.5'. ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
105. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
106. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
107. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
108. PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPGRADIENT IN THE DIRECTION OF PIPE LAYING.
109. ALL ROP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL ROP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL BE WATERTIGHT AND CONFORM TO THE REQUIREMENTS OF ASTM C-443.
110. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
111. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 292, WATER TIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
112. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 242, WATER TIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
113. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
115. POLYVINYL CHLORIDE (PVC) PIPE FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
126. DUCTILE IRON PIPE SHALL CONFORM TO LOCAL JURISDICTION OR AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEGALUG RETAINER GLANDS OR WITH RODDING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.
126. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.

DEFINITIONS
MUNICIPALITY SHALL MEAN TOWN OF WINDSOR
COUNTY SHALL MEAN HARTFORD COUNTY
STATE SHALL MEAN STATE OF CONNECTICUT
WATER UTILITY PROVIDER SHALL MEAN THE METROPOLITAN DISTRICT
SANITARY UTILITY PROVIDER SHALL MEAN THE METROPOLITAN DISTRICT
GAS UTILITY PROVIDER SHALL MEAN CONNECTICUT NATURAL GAS CORPORATION
TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN AT&T
ELECTRIC UTILITY PROVIDER SHALL MEAN EVERSOURCE ENERGY
DOT SHALL MEAN THE CT STATE DEPARTMENT OF TRANSPORTATION



355 Research Parkway
Meriden, CT 06450
(203) 630-1406



PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
450 & 462 BLOOMFIELD AVENUE
60 & 80 DUNFEY LANE
WINDSOR, CONNECTICUT

REVISIONS
Date 06-03-2024
Drawn 06-04-2024
Reviewed 06-04-2024
Project No. 2300910
Date 02/27/2024
CAD File: GN230091001
Title
GENERAL NOTES

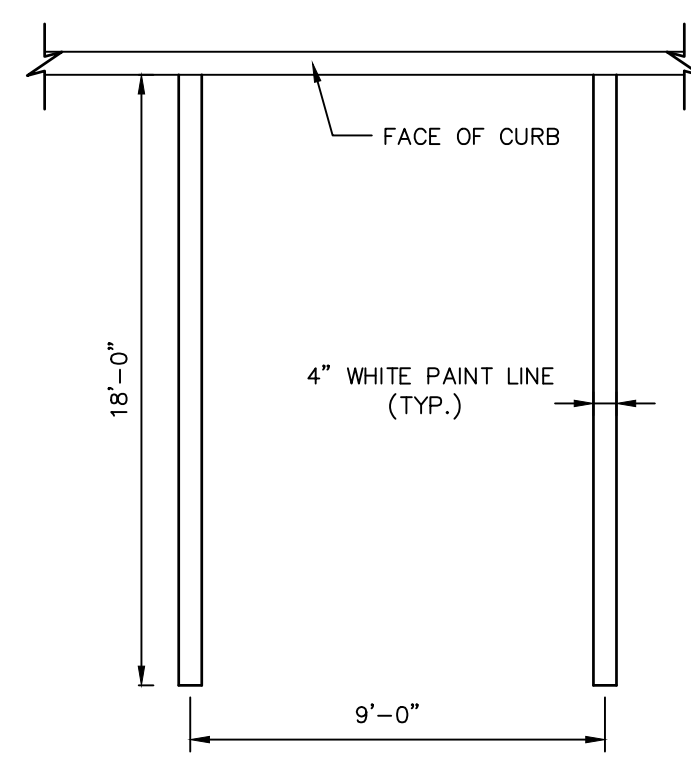
Designed M.A.G.
Drawn M.A.G.
Reviewed
Scale
Project No. 2300910
Date 02/27/2024
CAD File: GN230091001
Title

GENERAL NOTES

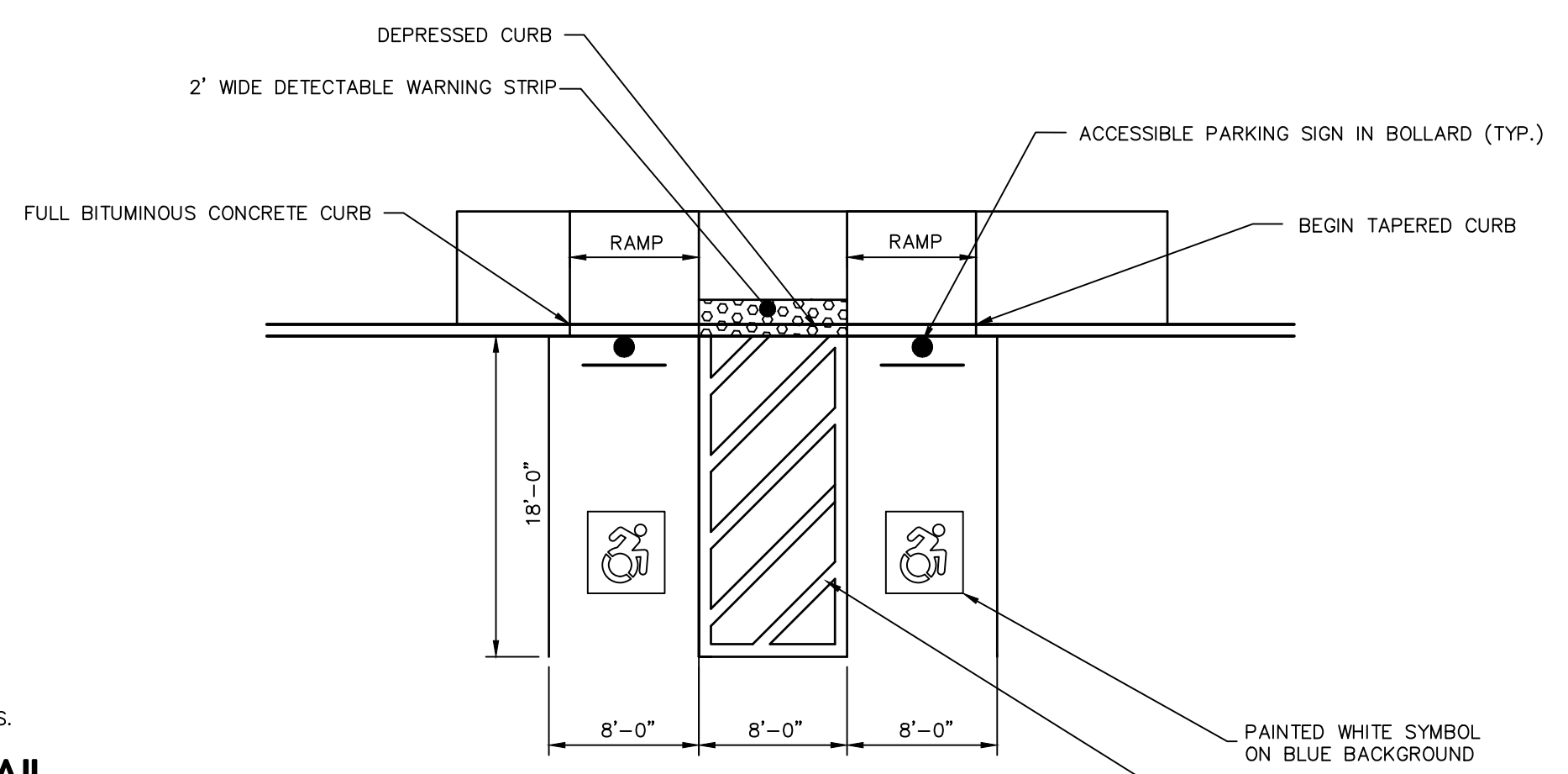
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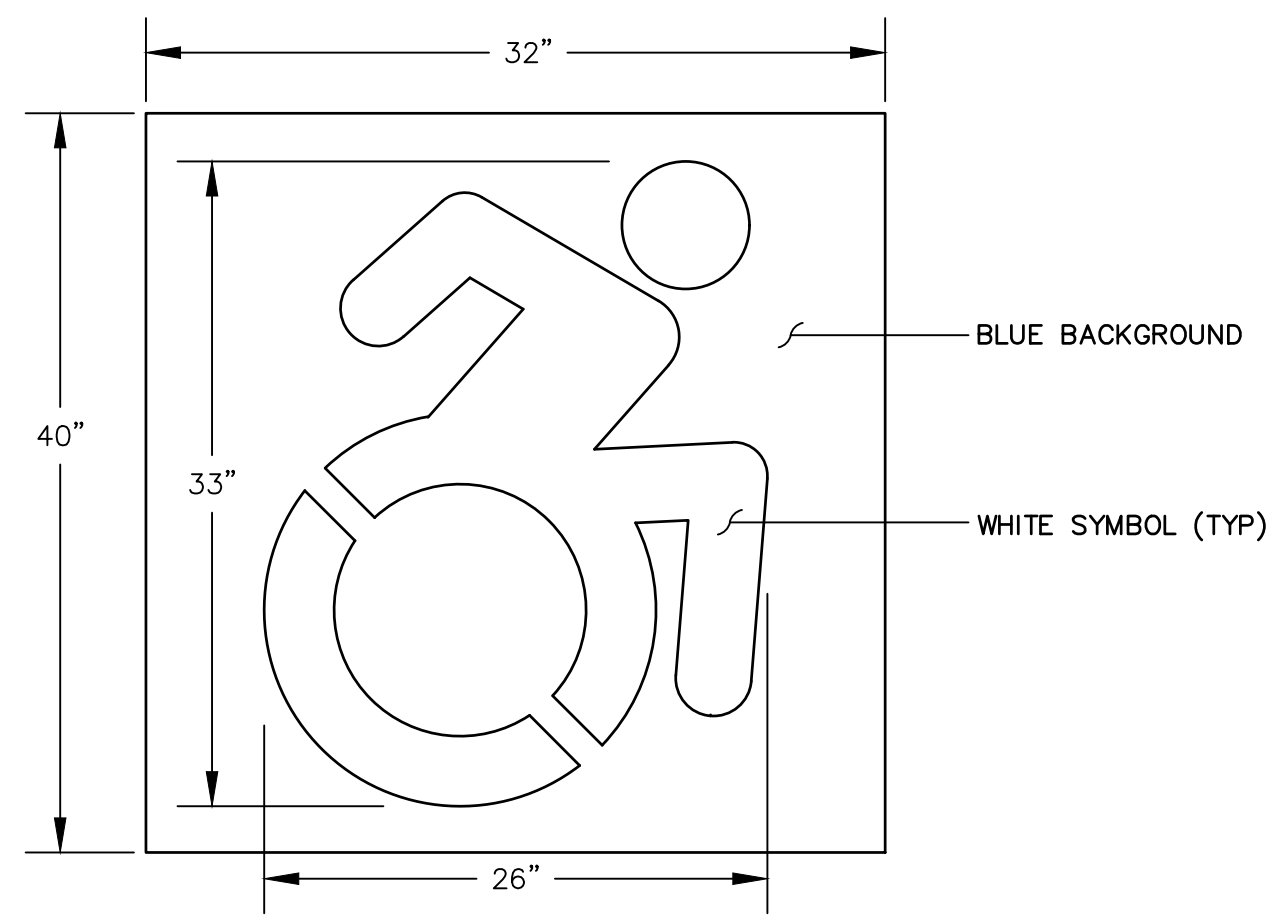
GN-1



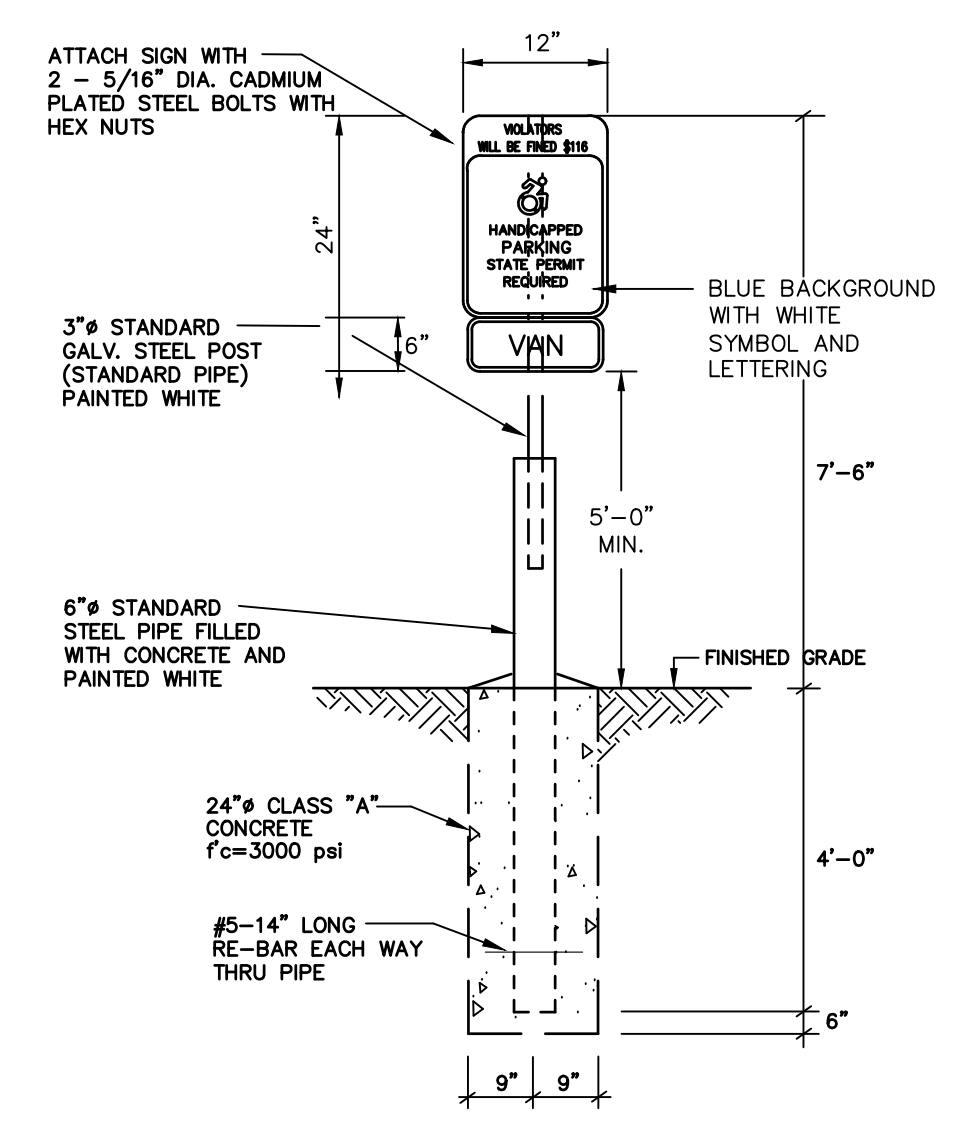
TYPICAL PARKING SPACE DETAIL
N.T.S. BLP-003



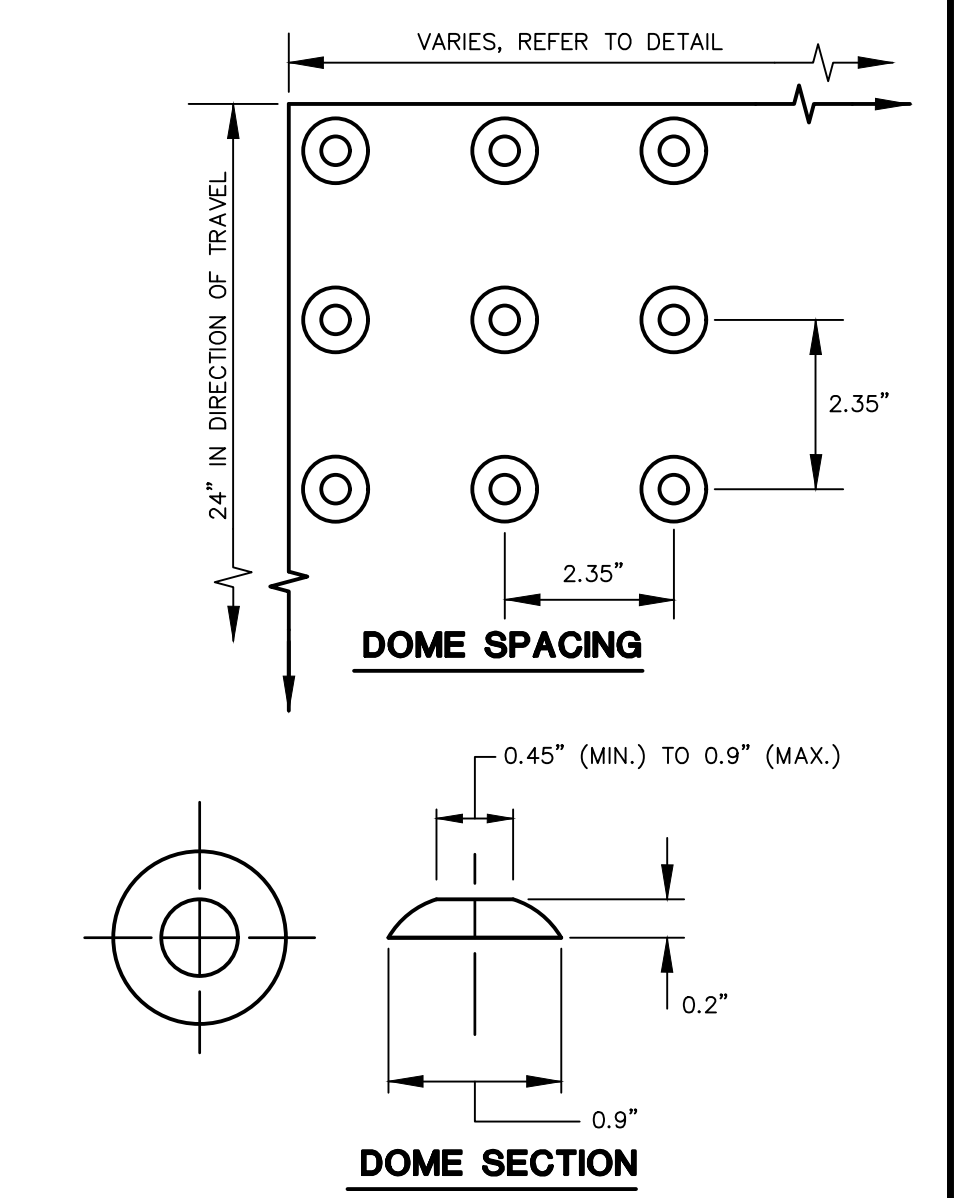
TYPICAL ACCESSIBLE PARKING SPACE AND RAMP DETAIL
N.T.S. BLP-004



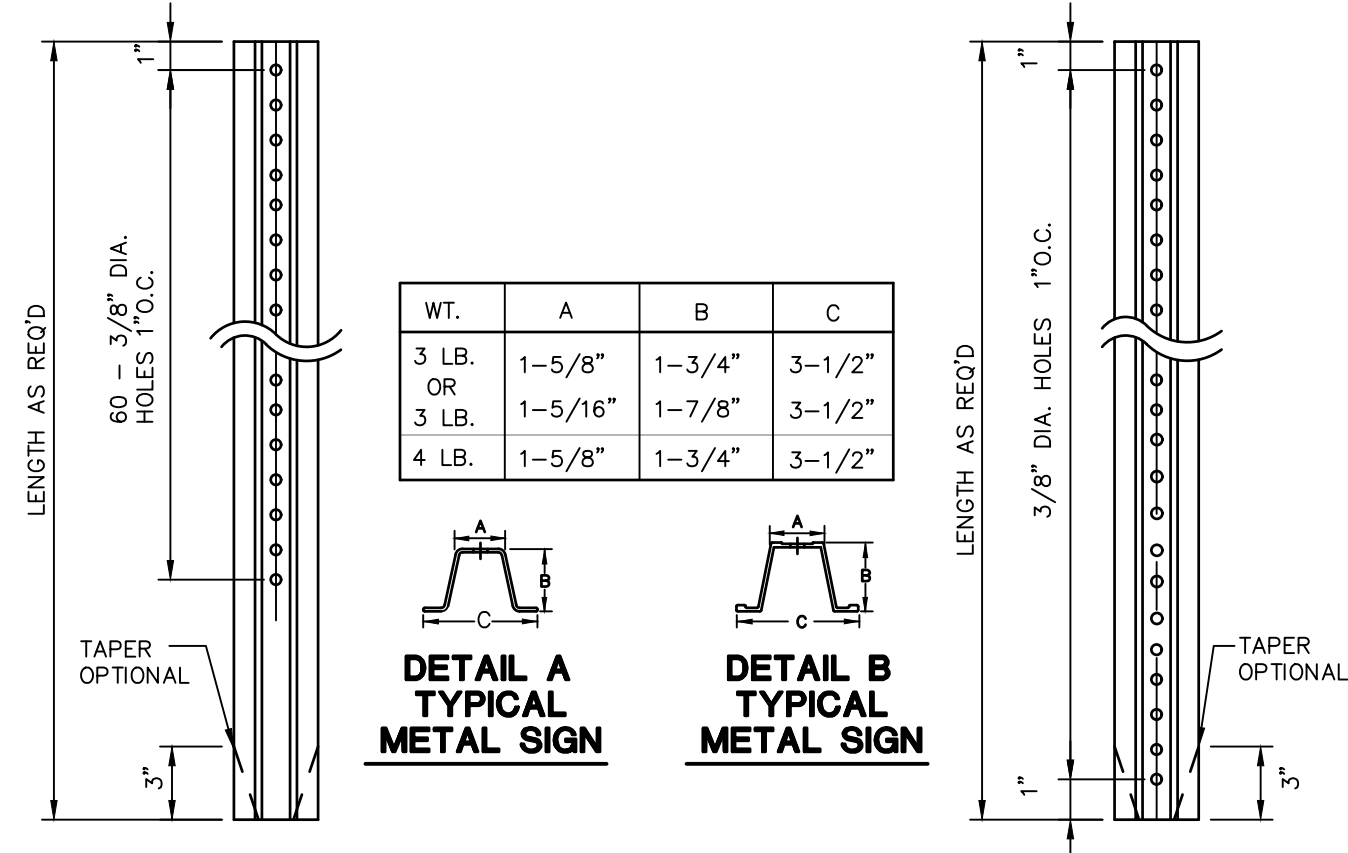
CONNECTICUT SYMBOL OF ACCESSIBILITY
N.T.S.



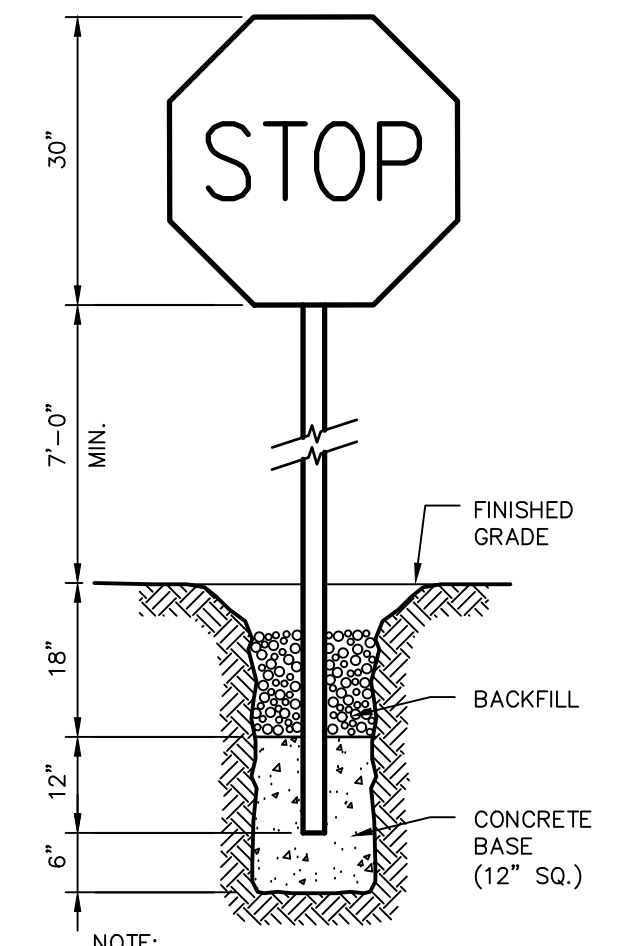
HANDICAP SIGN BOLLARD DETAIL
N.T.S.



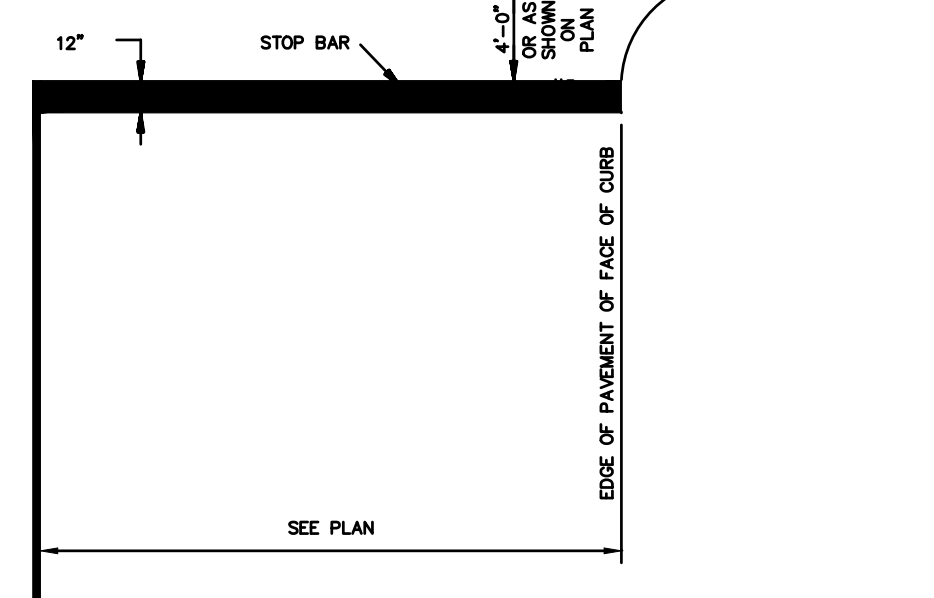
DETECTABLE WARNING
N.T.S.



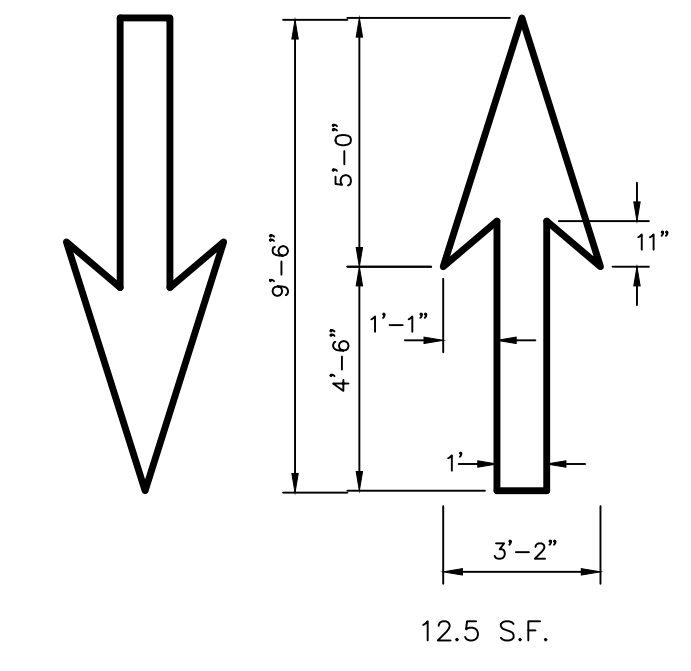
TYPICAL METAL SIGN POSTS
N.T.S. BLS-001



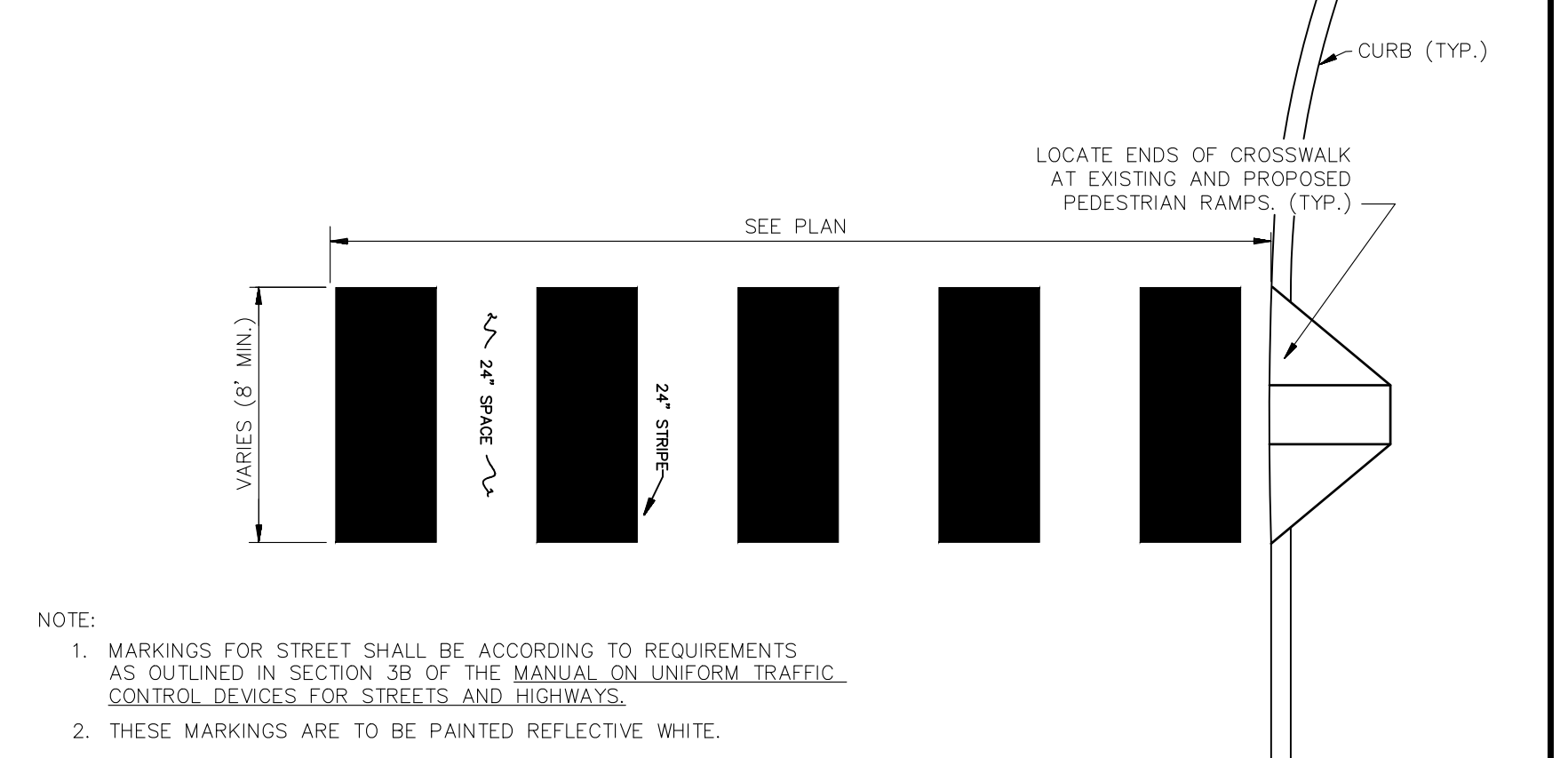
STOP SIGN
N.T.S. BLS-002



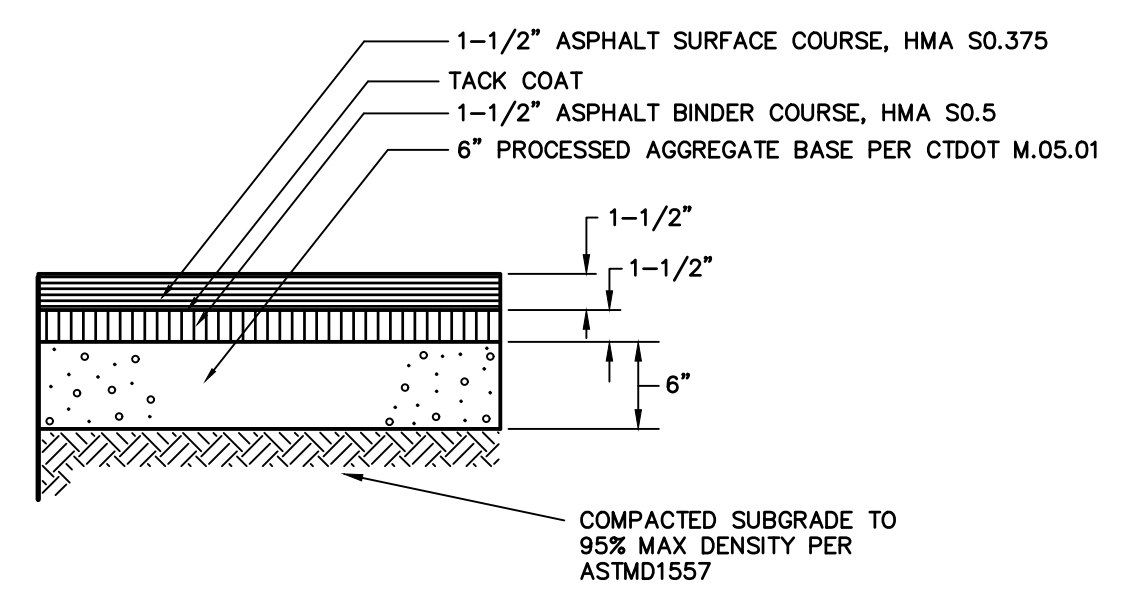
STOP BAR PAVEMENT MARKING
N.T.S.



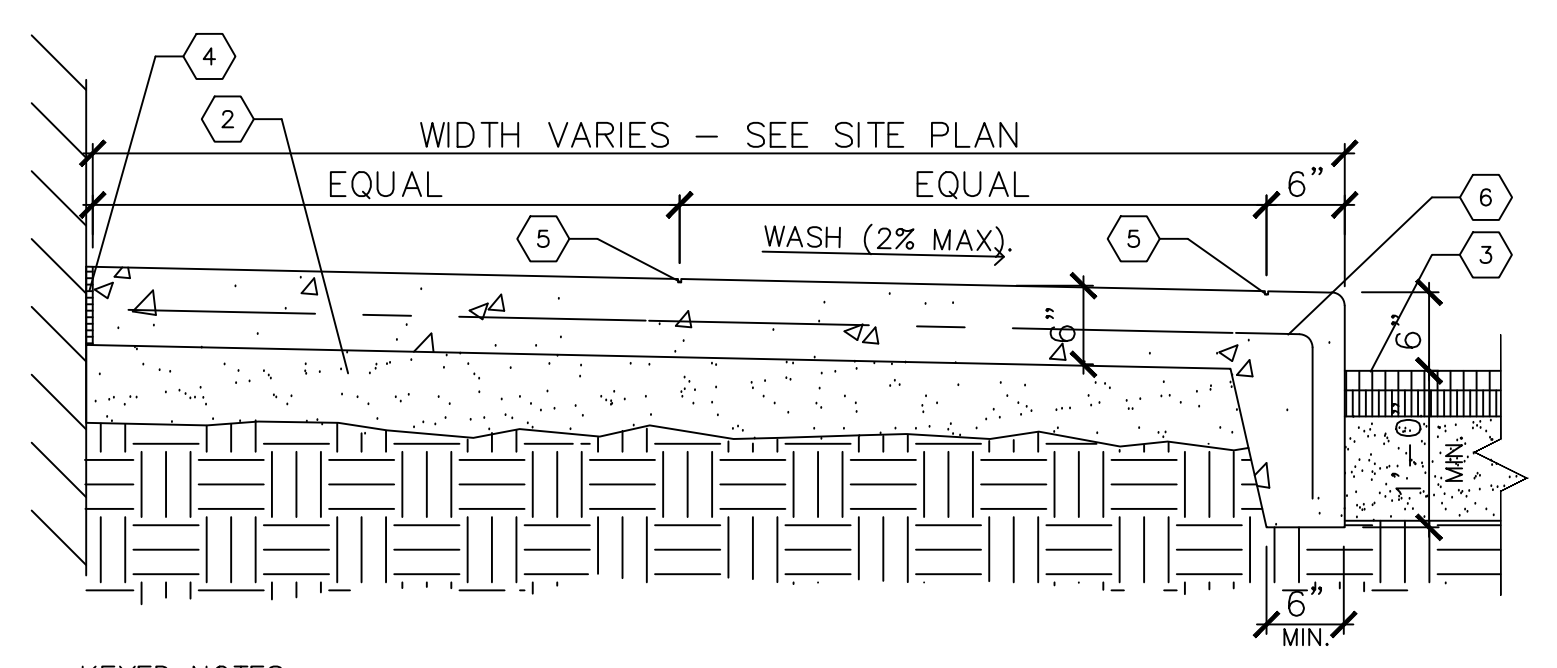
PAVEMENT ARROW DETAILS
N.T.S. BLP-006



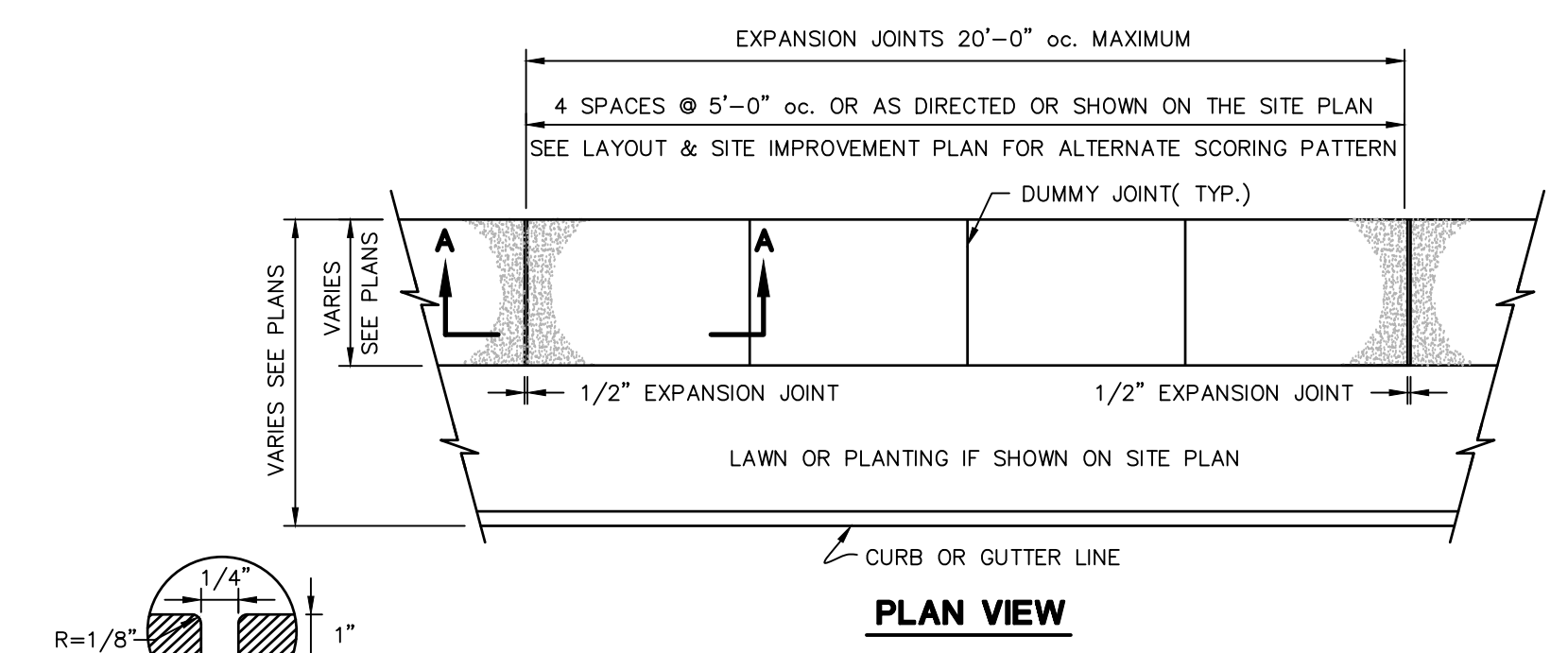
CROSSWALK MARKINGS
N.T.S.



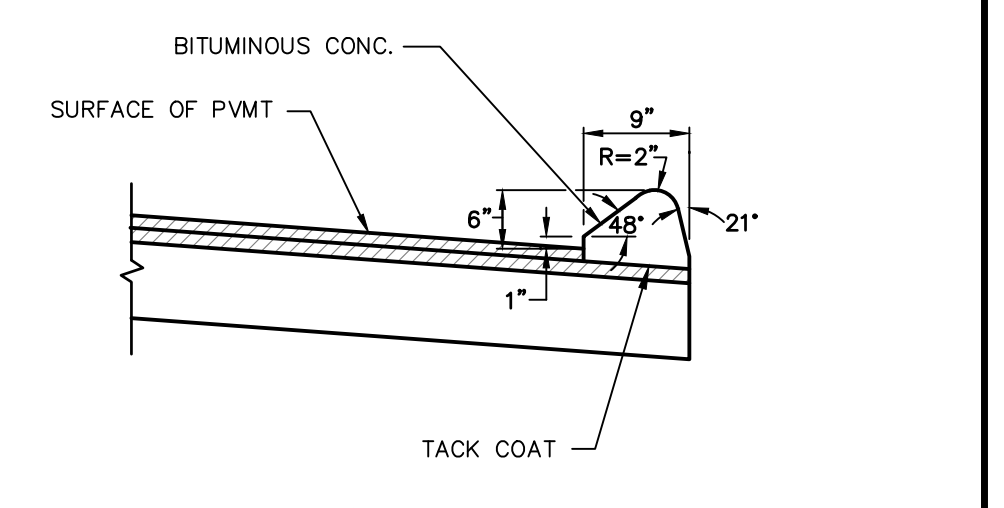
STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
N.T.S. ZPC-014



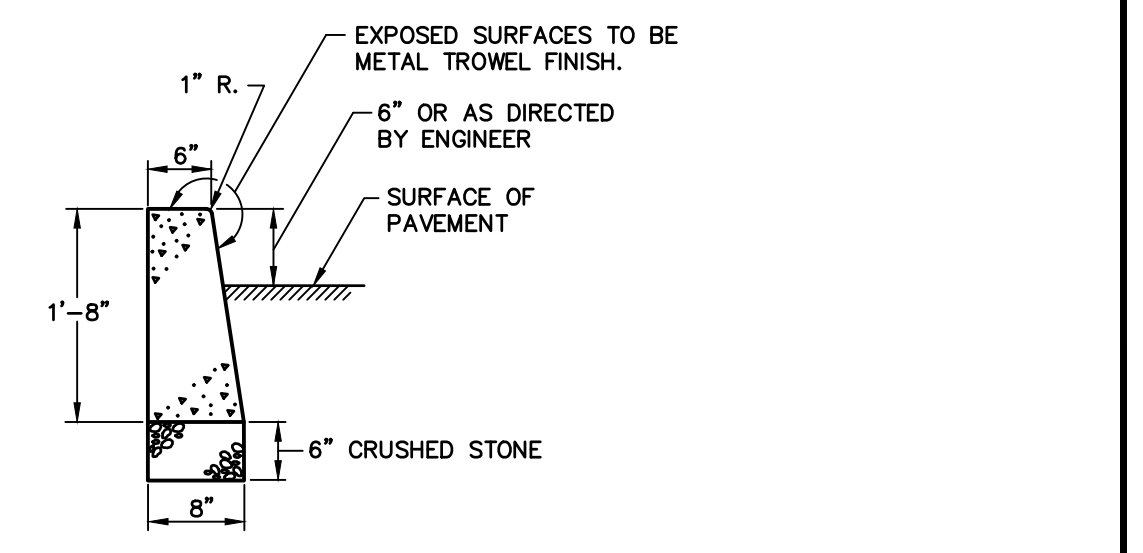
MONOLITHIC CONCRETE CURB AND SIDEWALK DETAIL
N.T.S. WAG



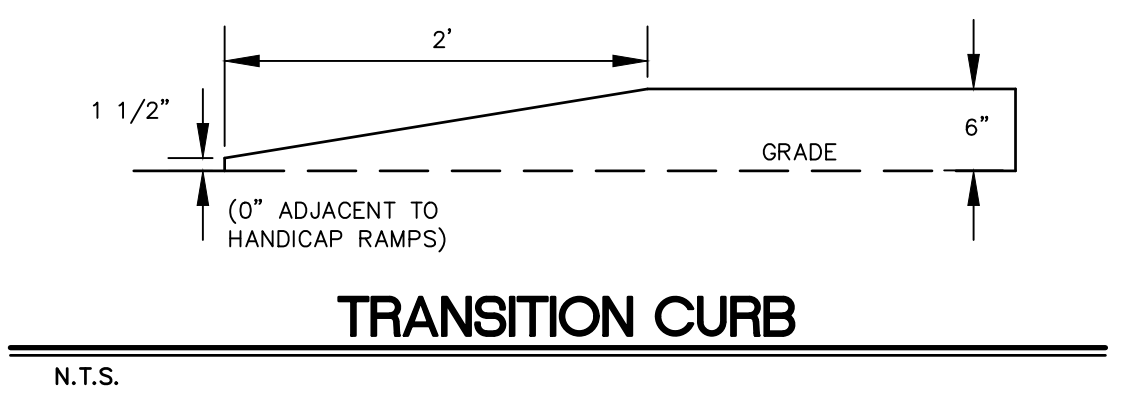
CONCRETE SIDEWALK DETAIL
N.T.S. BLS-001



BITUMINOUS CONCRETE CURB
N.T.S.

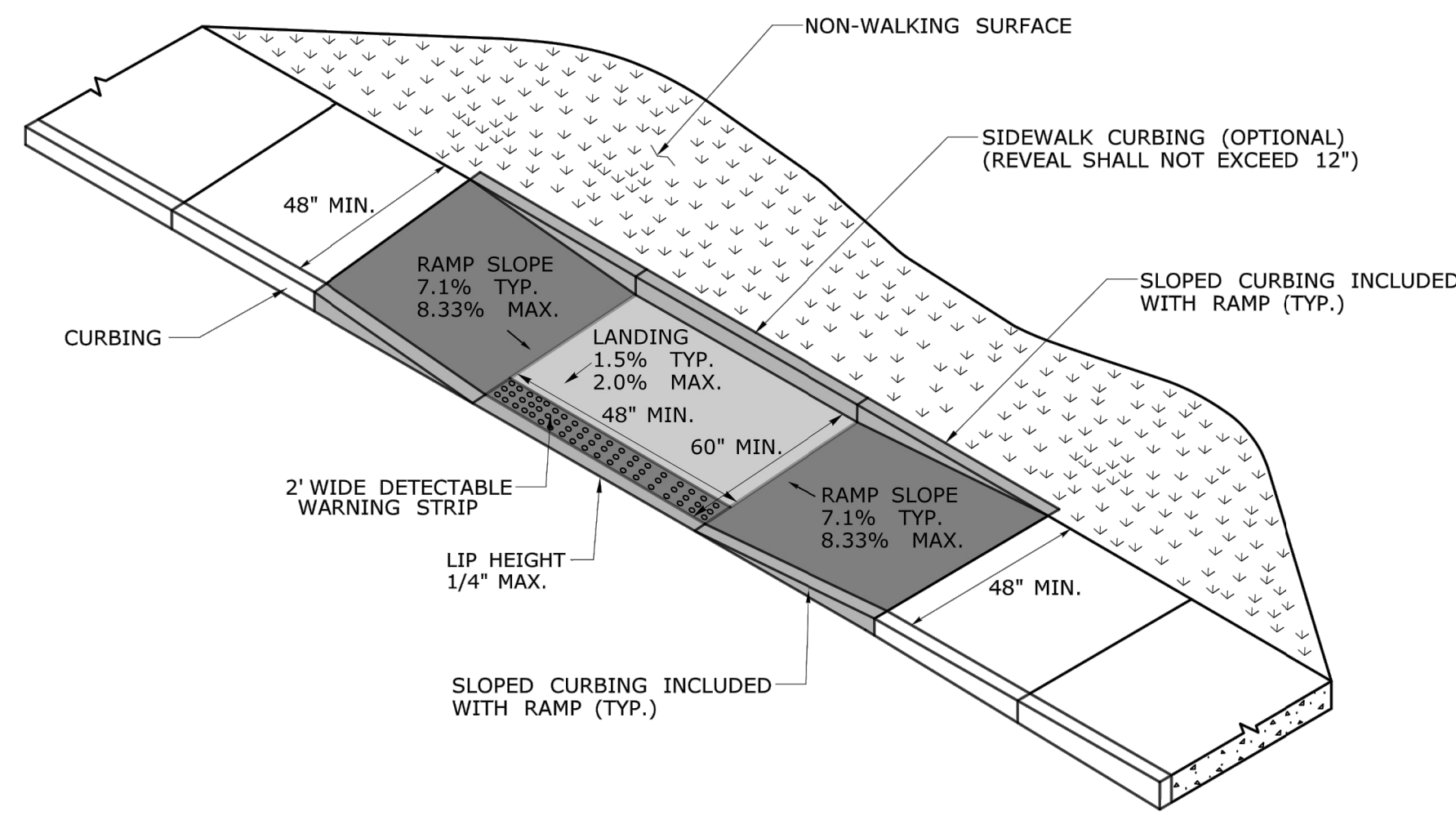


CONCRETE CURB DETAIL
N.T.S. ZPC-014

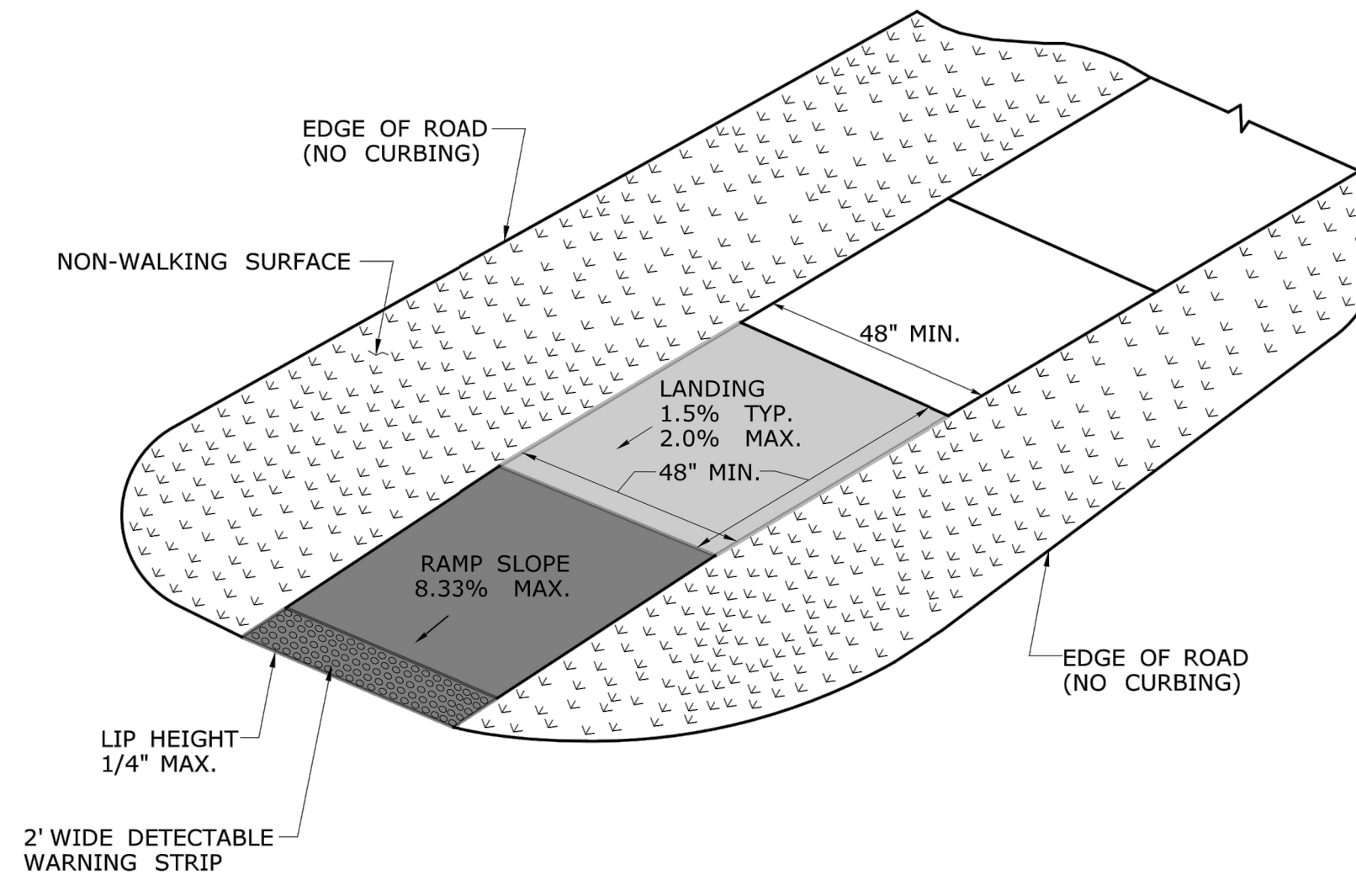


TRANSITION CURB
N.T.S.

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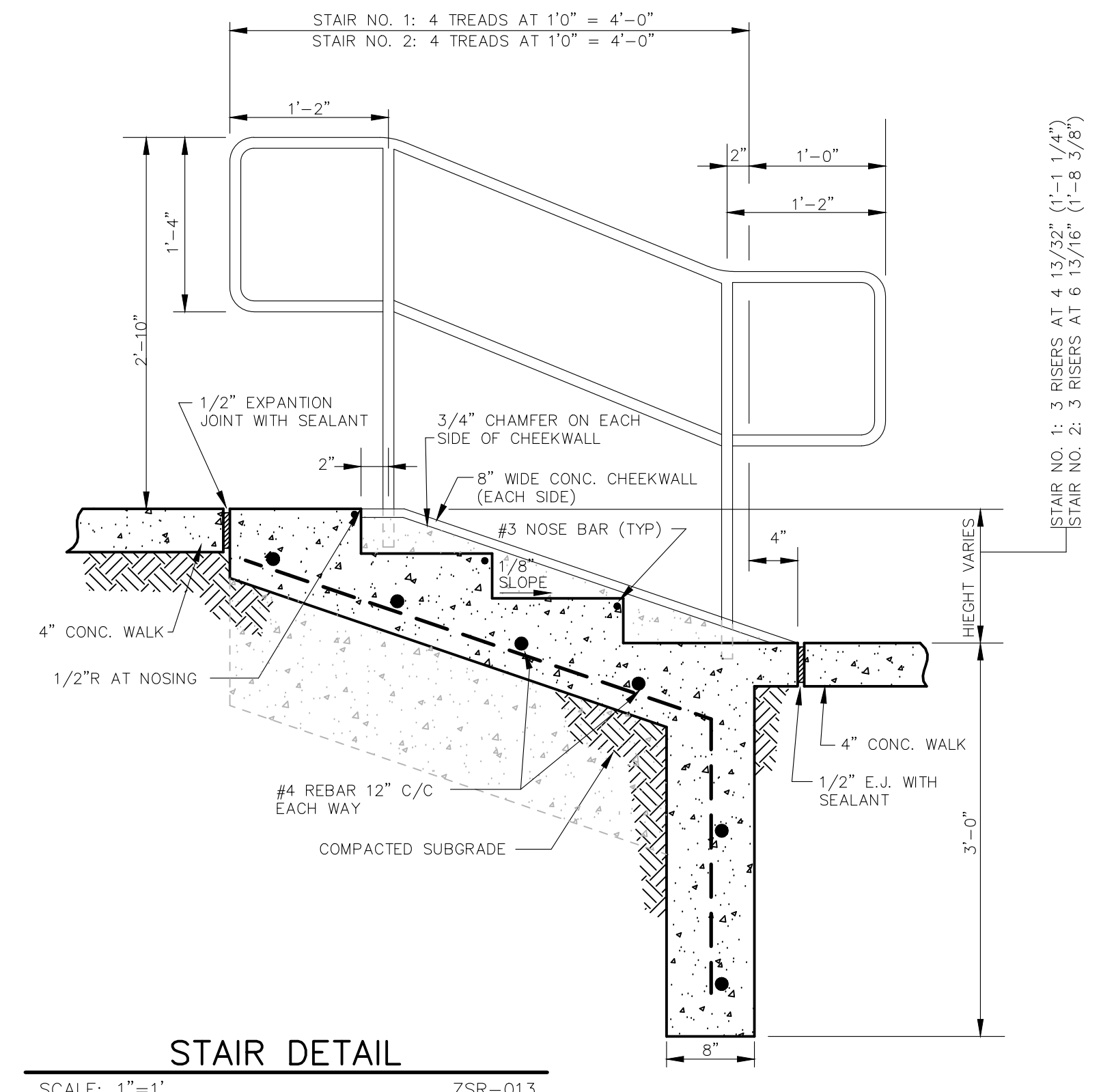


PARALLEL RAMP WITHOUT NON-WALKING SURFACE (TYPE 9)



SINGLE DIRECTION - NO CURB WITH NON-WALKING SURFACE (TYPE 17)

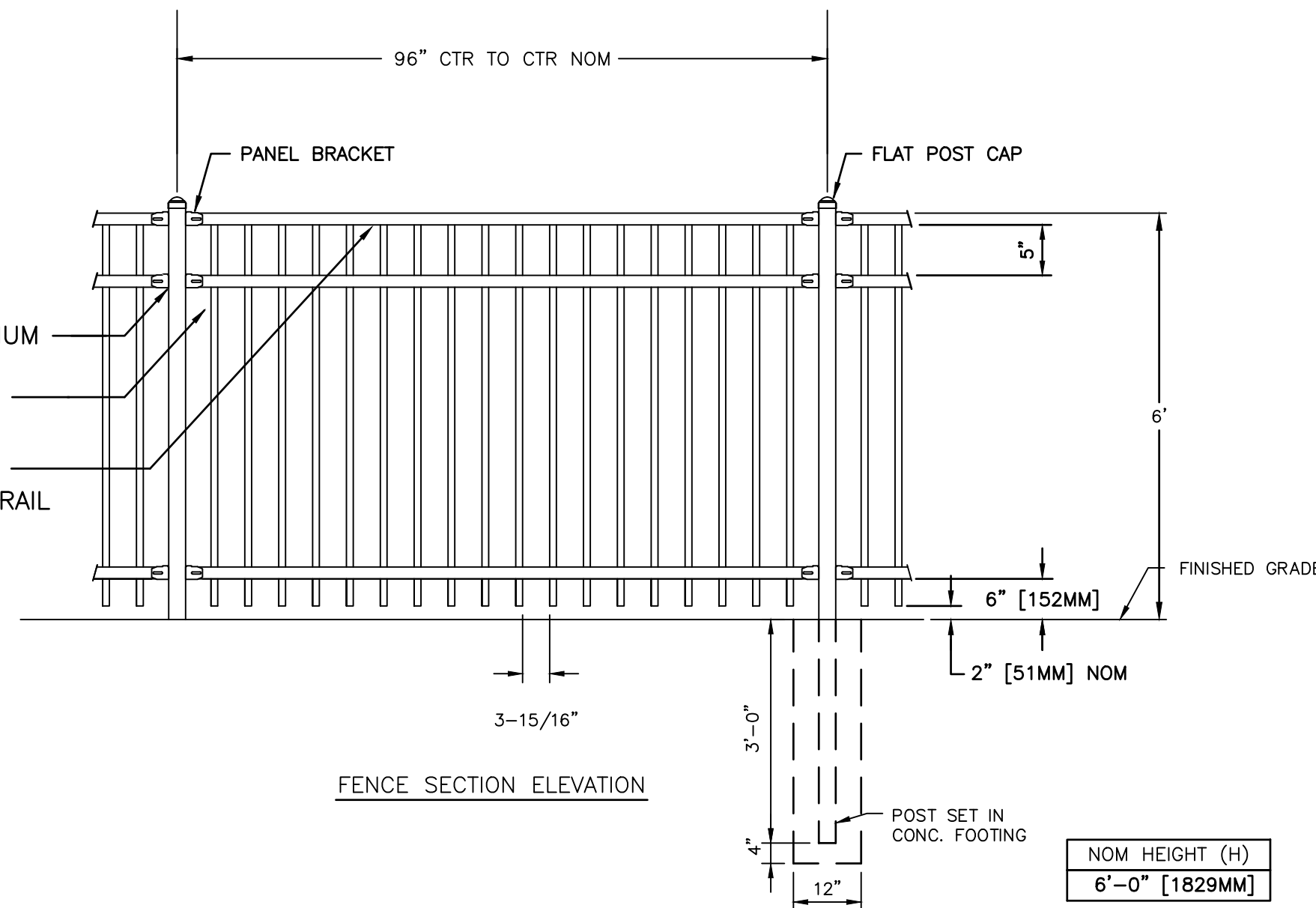
1. ALL TUBING SHALL BE 1 1/2" DIA. STA. STEEL.
2. WELD AND GRIND ALL JOINTS SMOOTH.
3. PRIME AND PAINT ALL EXPOSED STEEL (BLACK).
4. PROVIDE HANDRAIL AT EACH SIDE OF STAIRS IN CHEEKWALL OF STAIRS.
5. THIS SECTION IS FOR STAIRS NO. 1 AND NO. 2.
6. CHEEKWALL REINFORCEMENT 2-#4 REBAR CONTINUOUS TOP TO BOTTOM.
7. PROVIDE 6" SLEEVE IN CONC. CHEEKWALL TO SECURE RAIL POST WITH POR ROC COMPOUND.
8. CONCRETE FINISH LIGHT BROOM.



STAIR DETAIL

SCALE: 1"=1' ZSR-013

- 2" SQ. 0.080" ALUMINUM POST.
- 3/4" SQ ALUMINUM PICKET.
- 1-7/16" x 1-1/16" ALUM. FORERUNNER RAIL

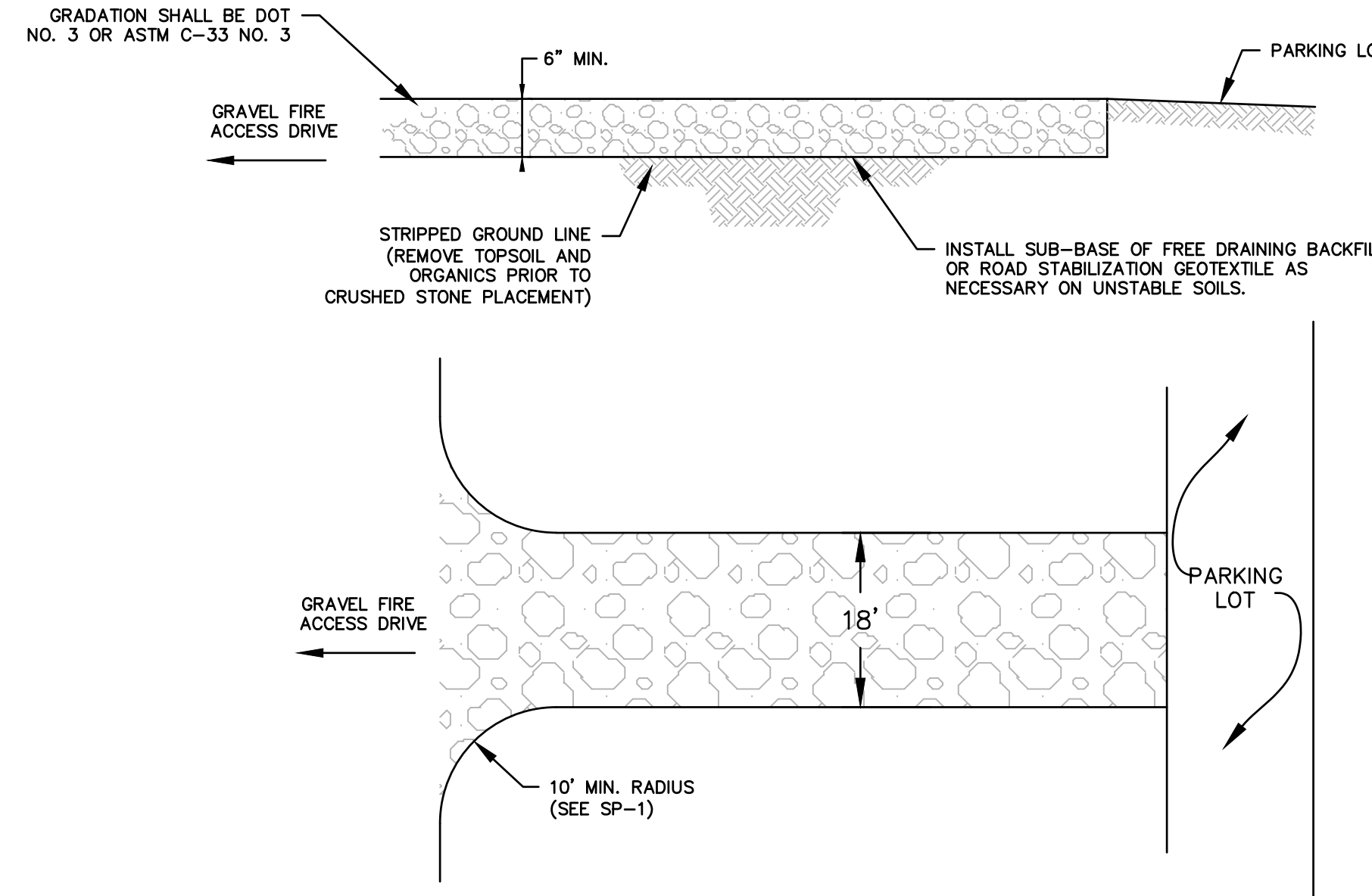


6' HIGH ALUMINUM ORNAMENTAL FENCE

N.T.S.

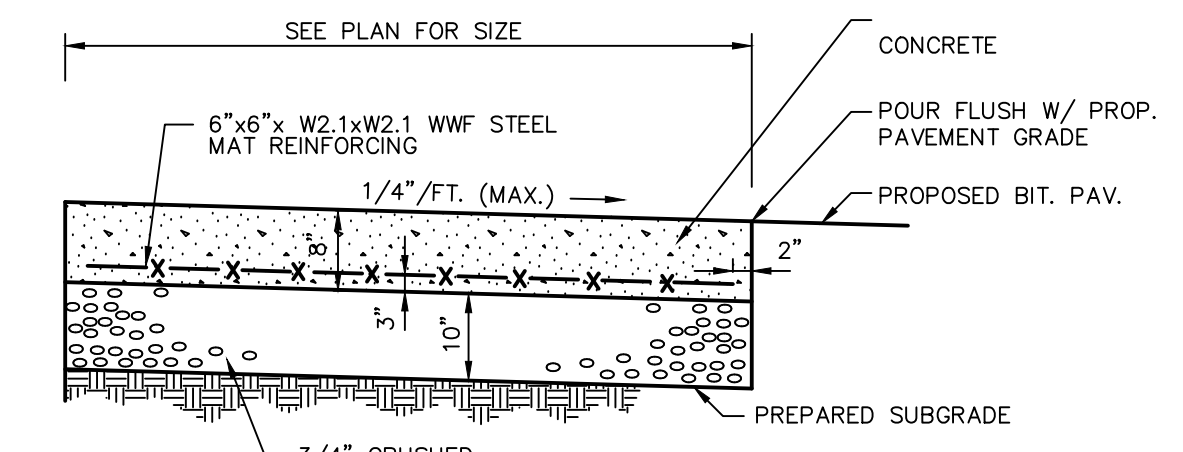
- NOTES:
1. PRODUCT TO BE MASTER HALCO ECHELOW PLUS MAGESTIC FENCE, OR APPROVED EQUAL.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH. MINIMUM DEPTH 36" [914MM].

NOM HEIGHT (H)
6'-0" [1829MM]



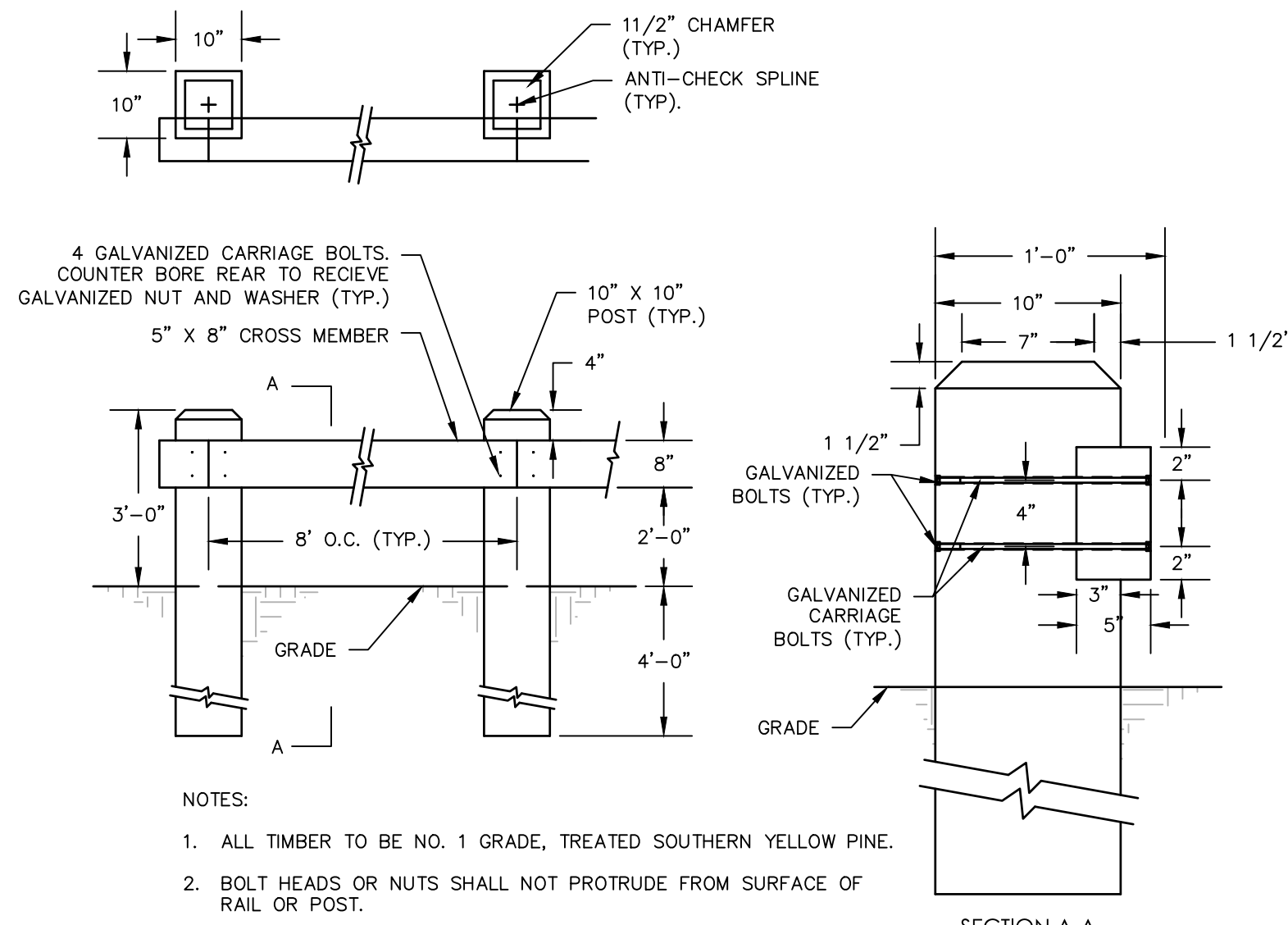
18' WIDE GRAVEL FIRE TRUCK ACCESS DRIVE

N.T.S.



CONCRETE DUMPSTER PAD AND CONCRETE PAVEMENT

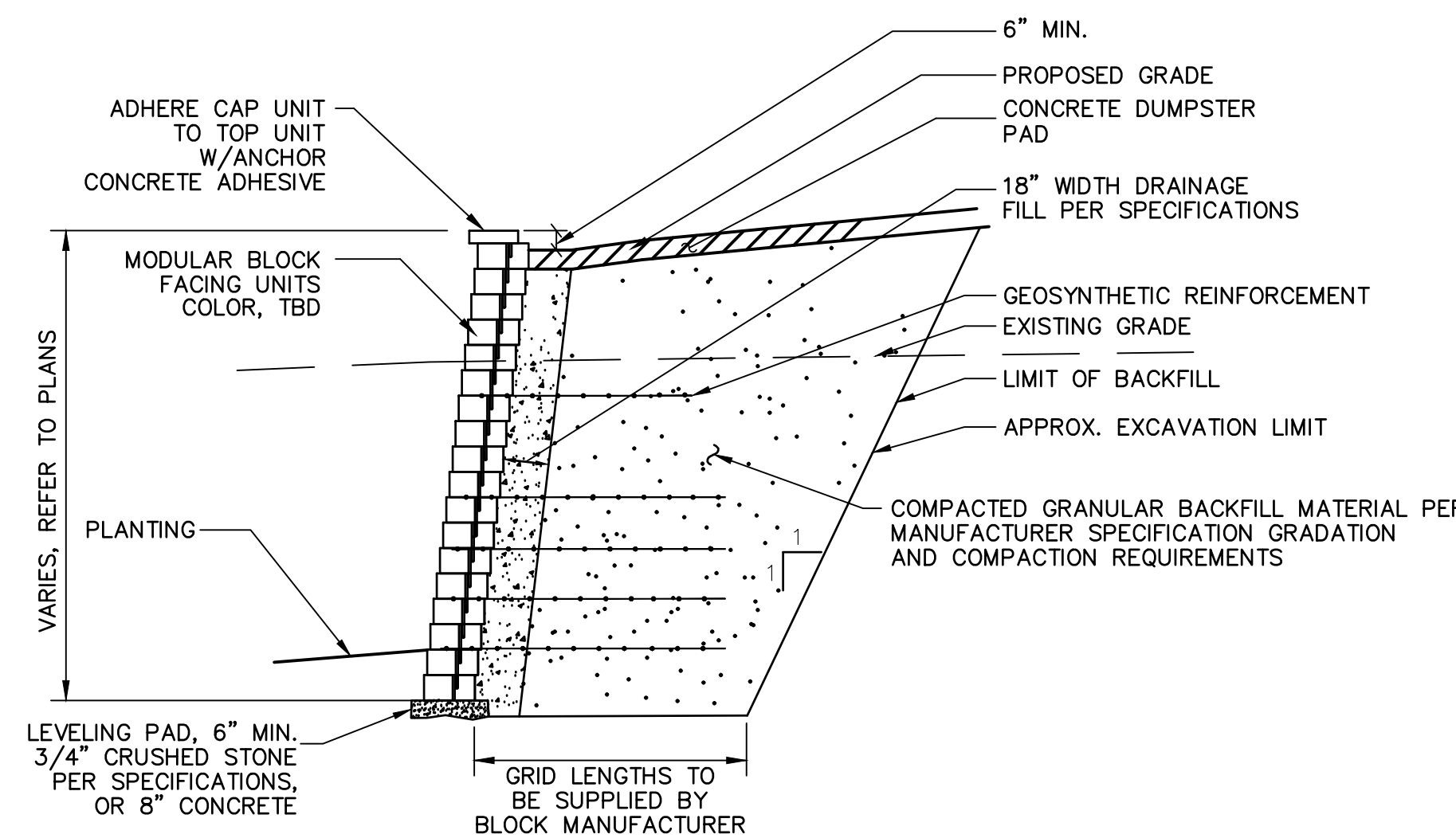
N.T.S. BLPC-002



TIMBER GUIDE RAIL DETAIL

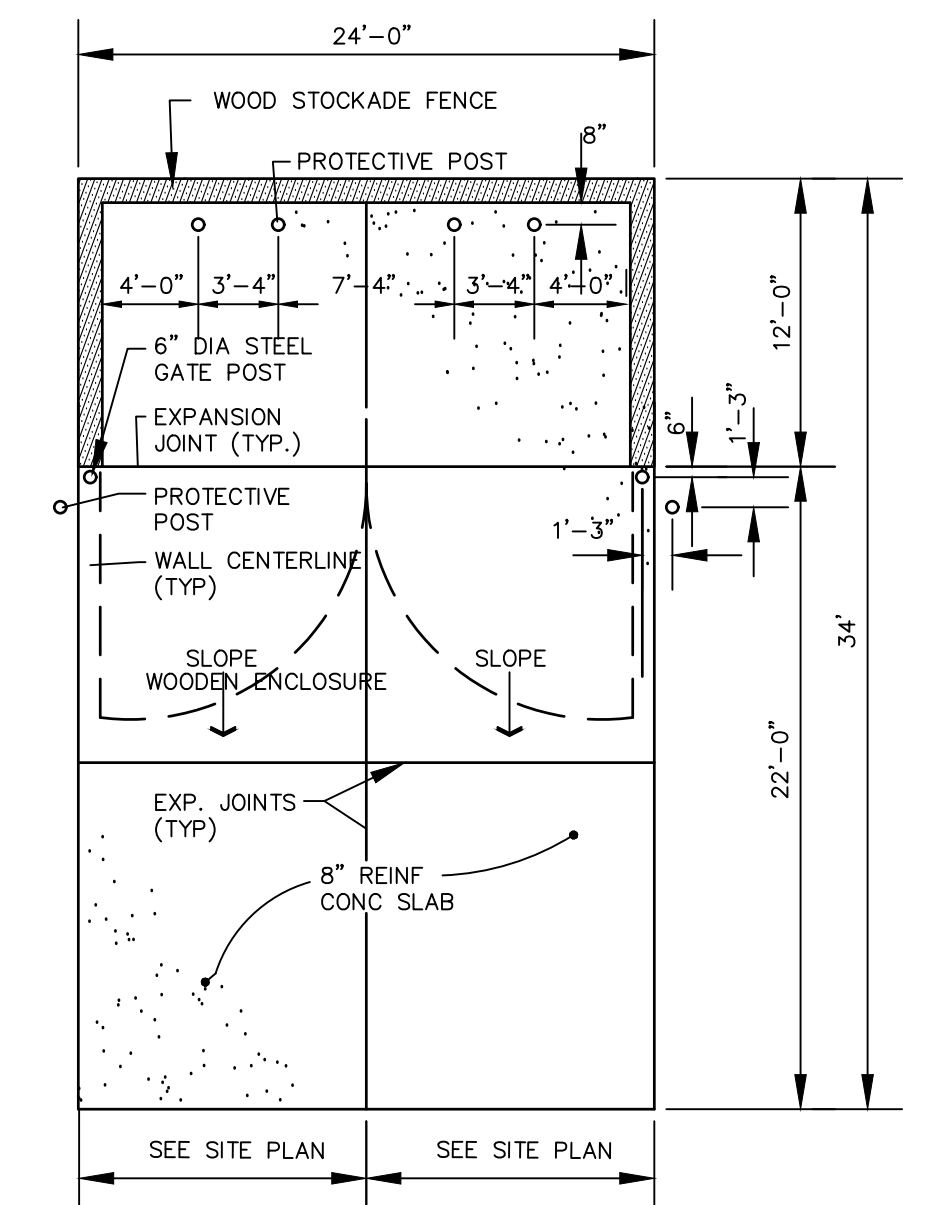
N.T.S.

- NOTES:
1. ALL TIMBER TO BE NO. 1 GRADE, TREATED SOUTHERN YELLOW PINE.
 2. BOLT HEADS OR NUTS SHALL NOT PROTRUDE FROM SURFACE OF RAIL OR POST.



MODULAR BLOCK RETAINING WALL (TYPICAL DETAIL)

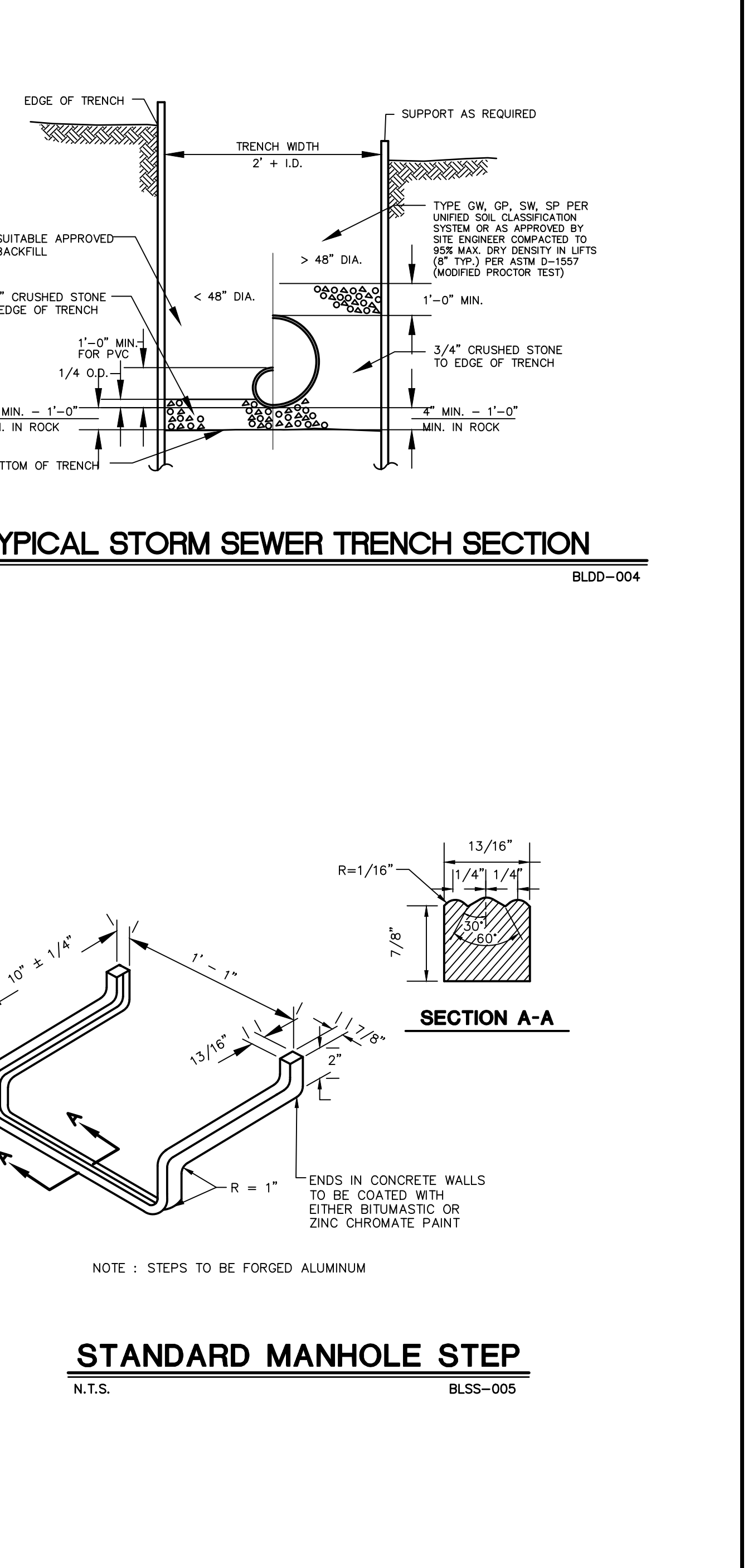
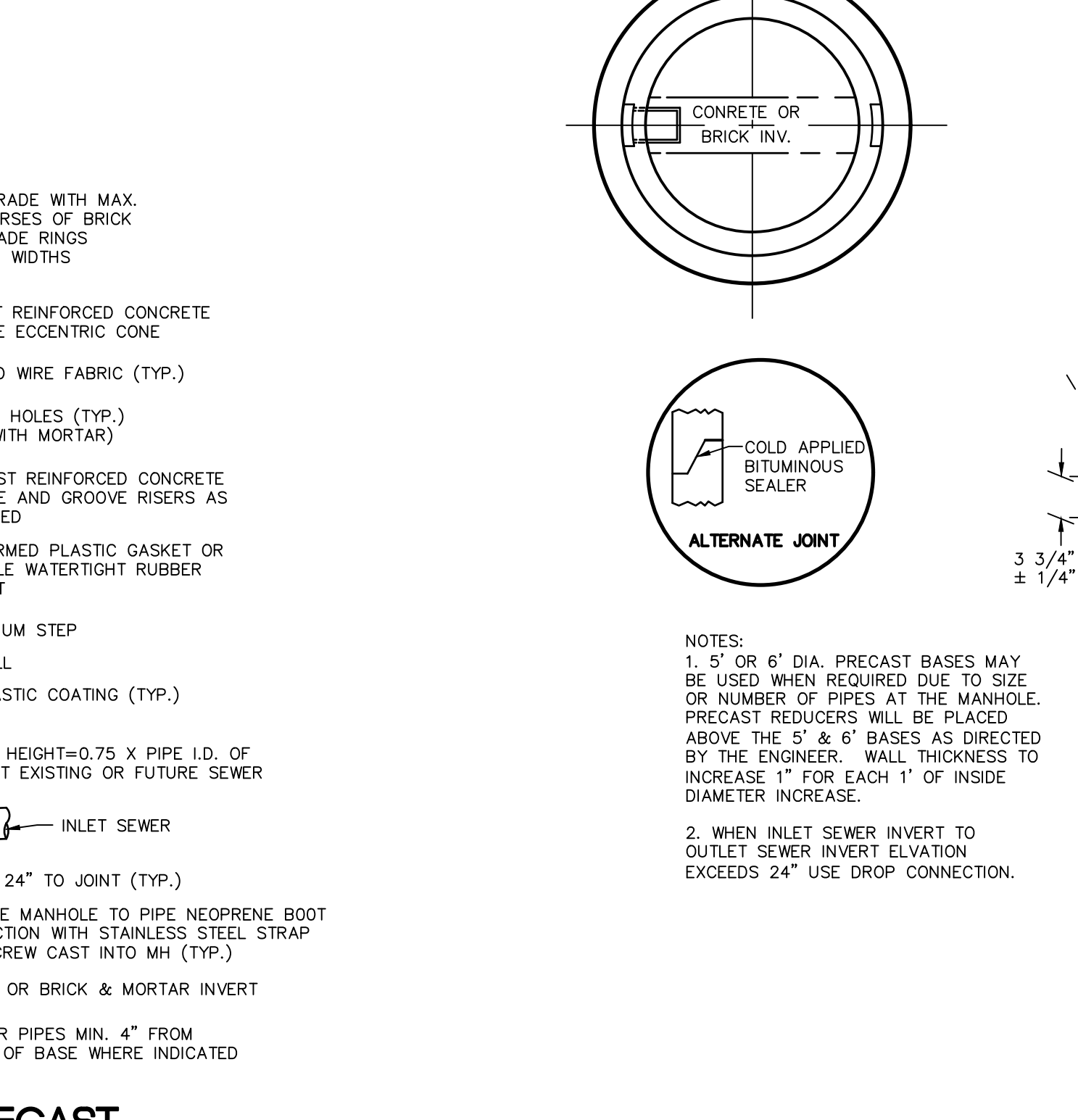
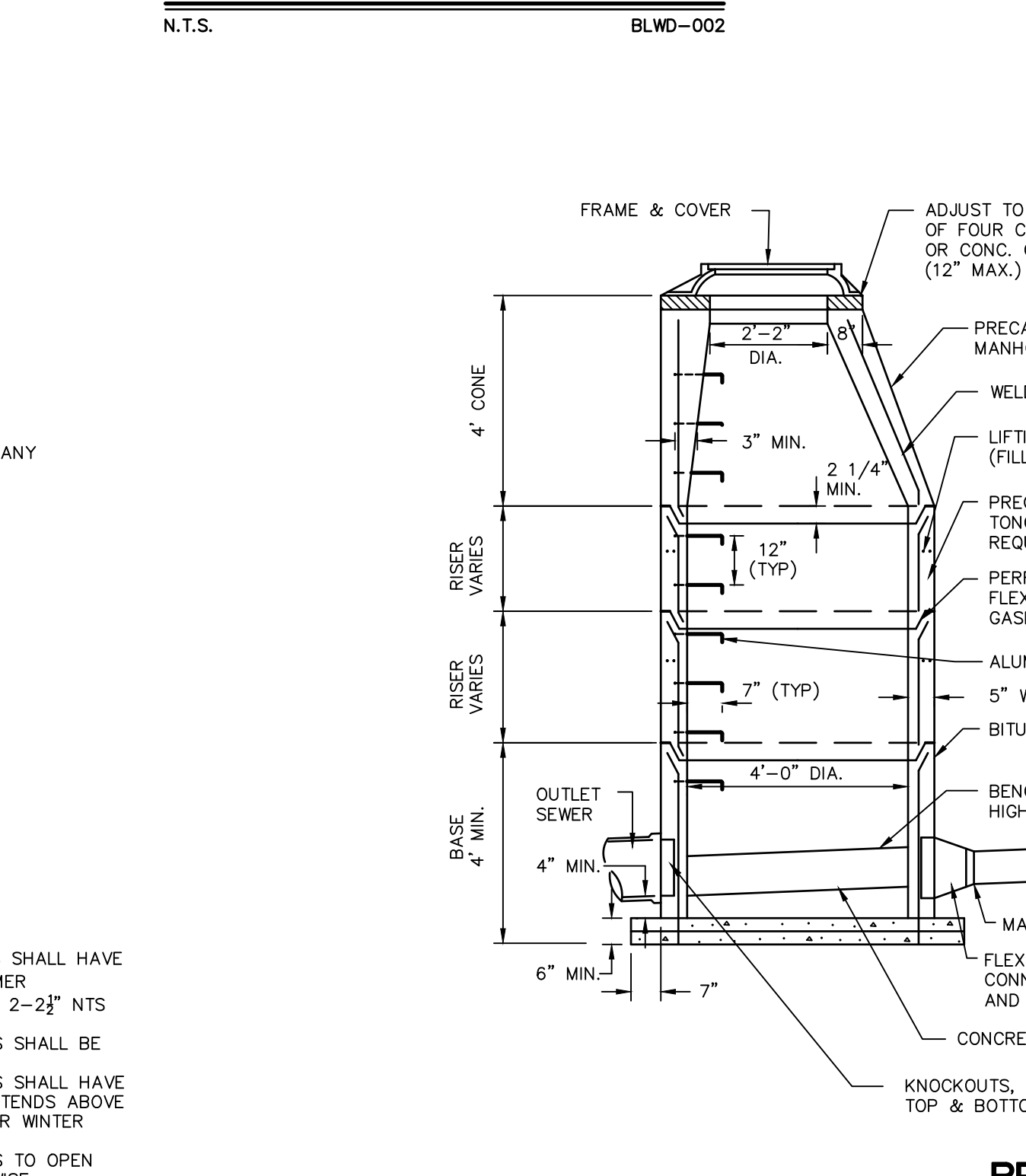
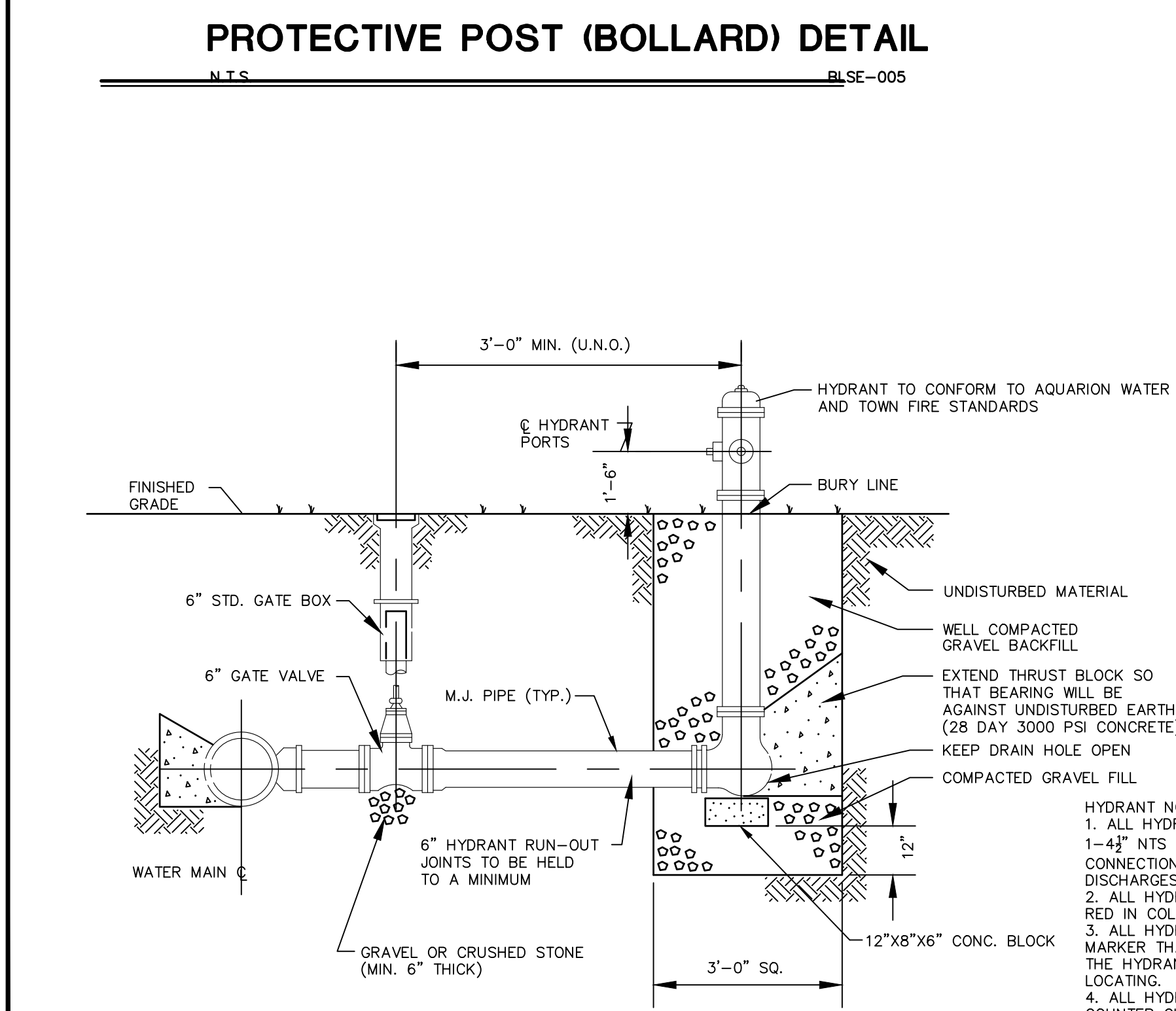
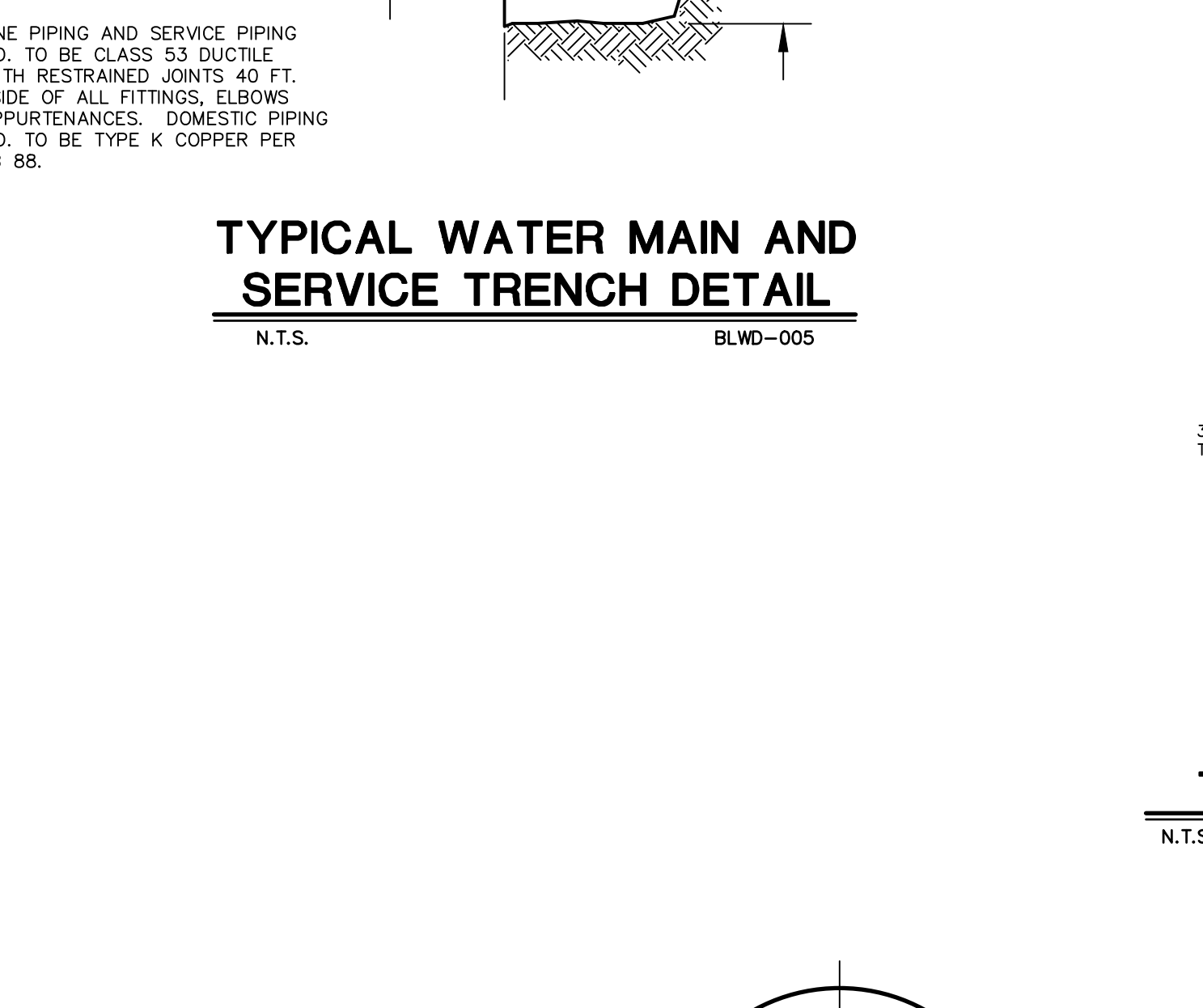
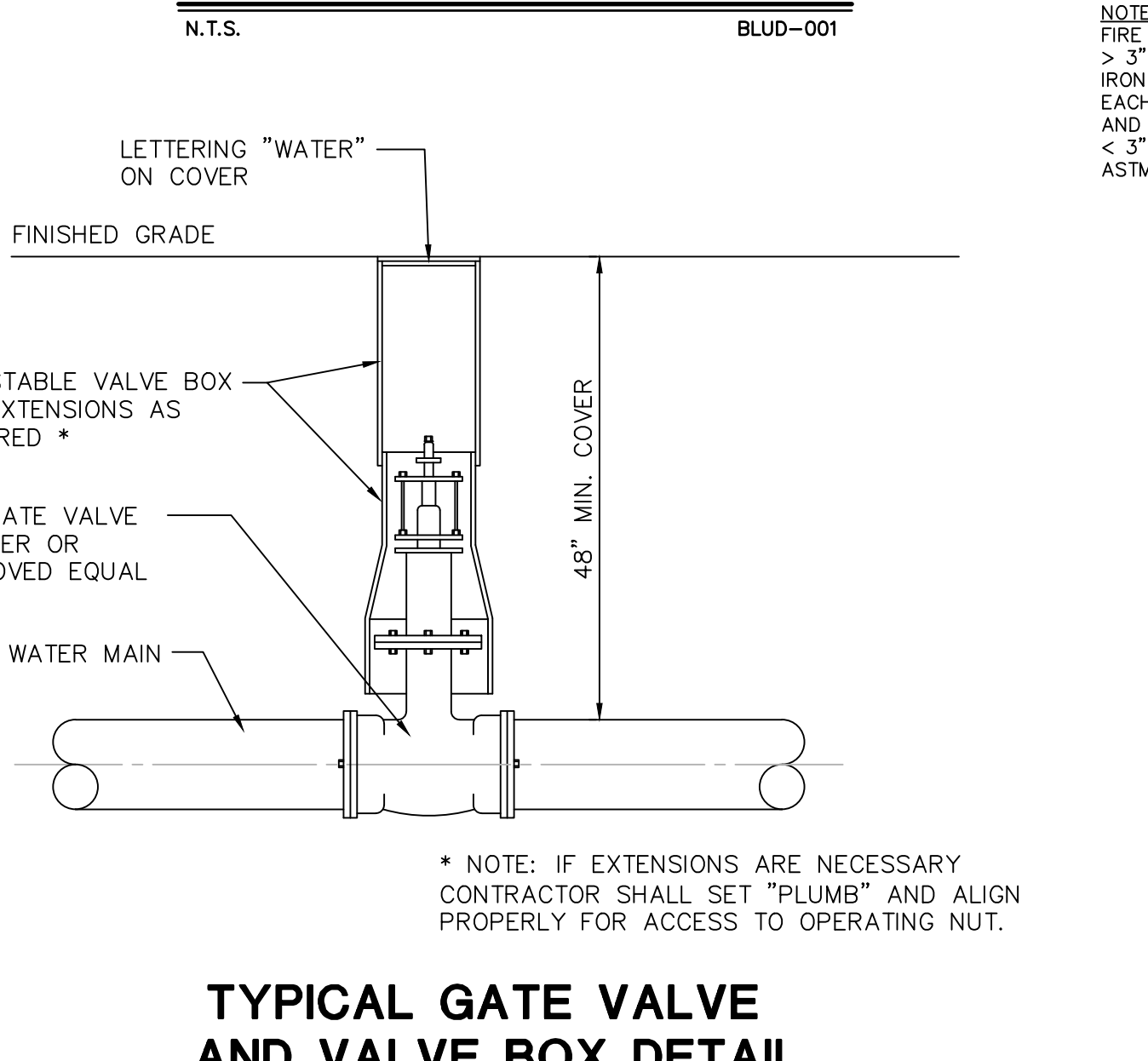
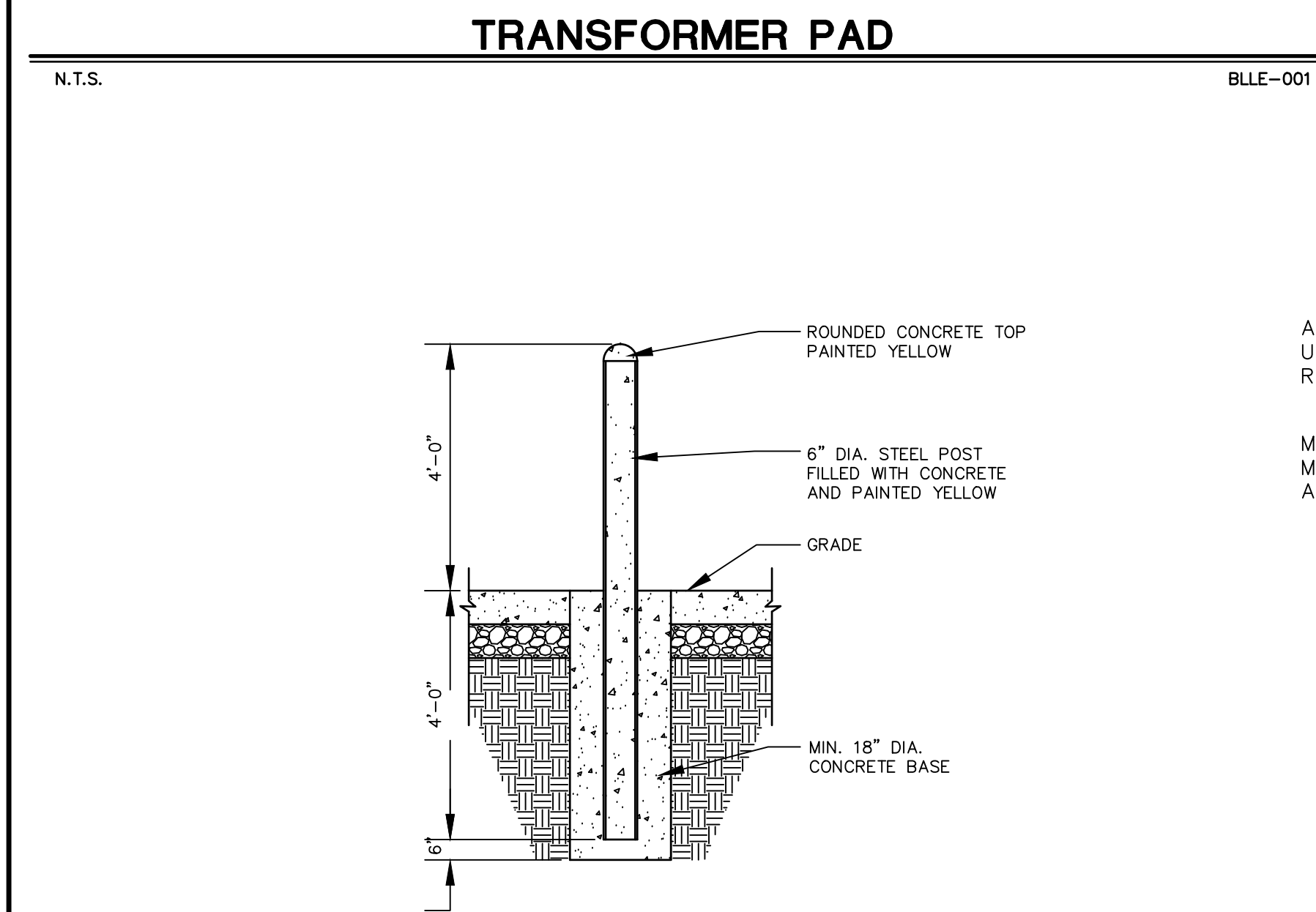
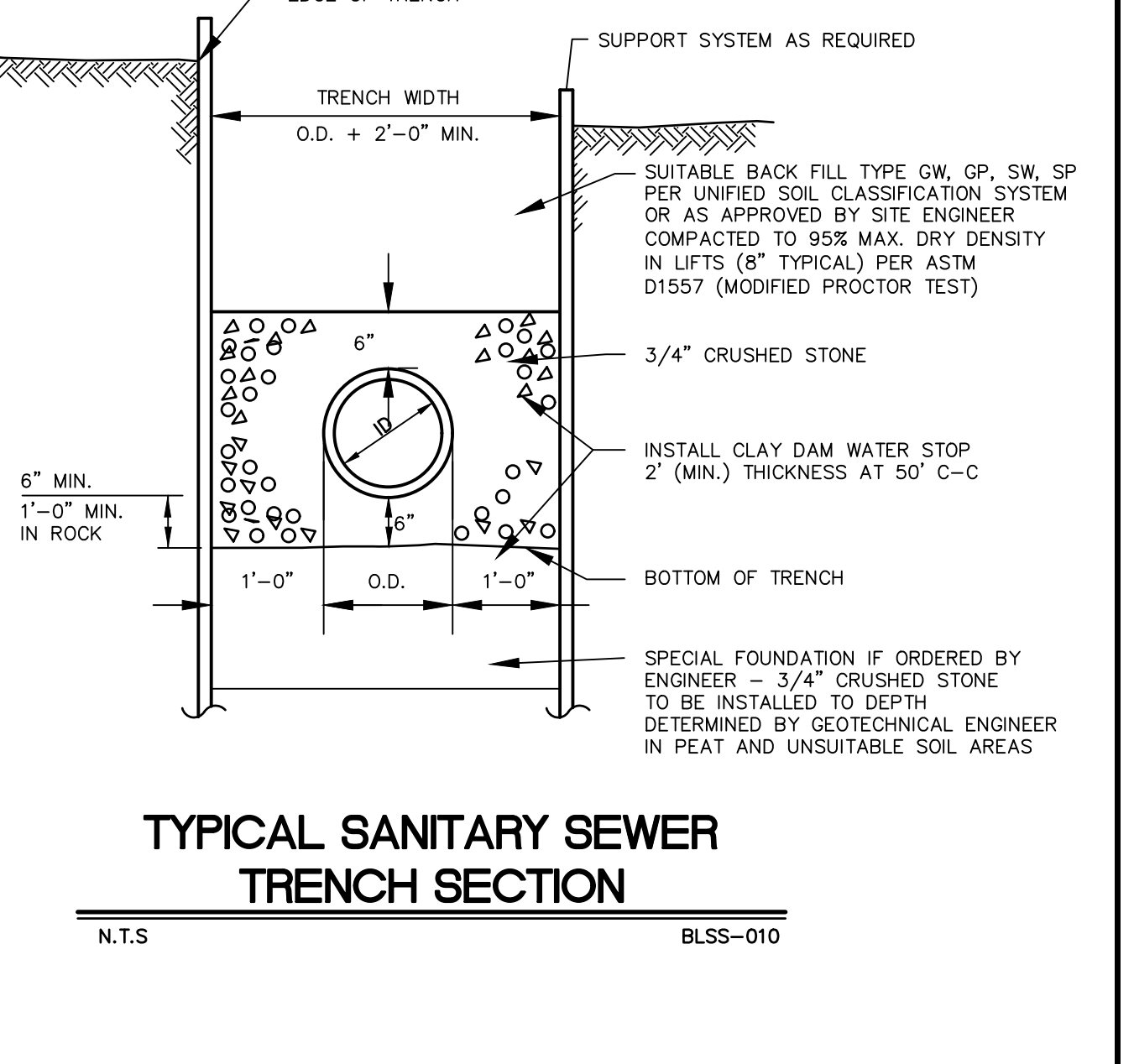
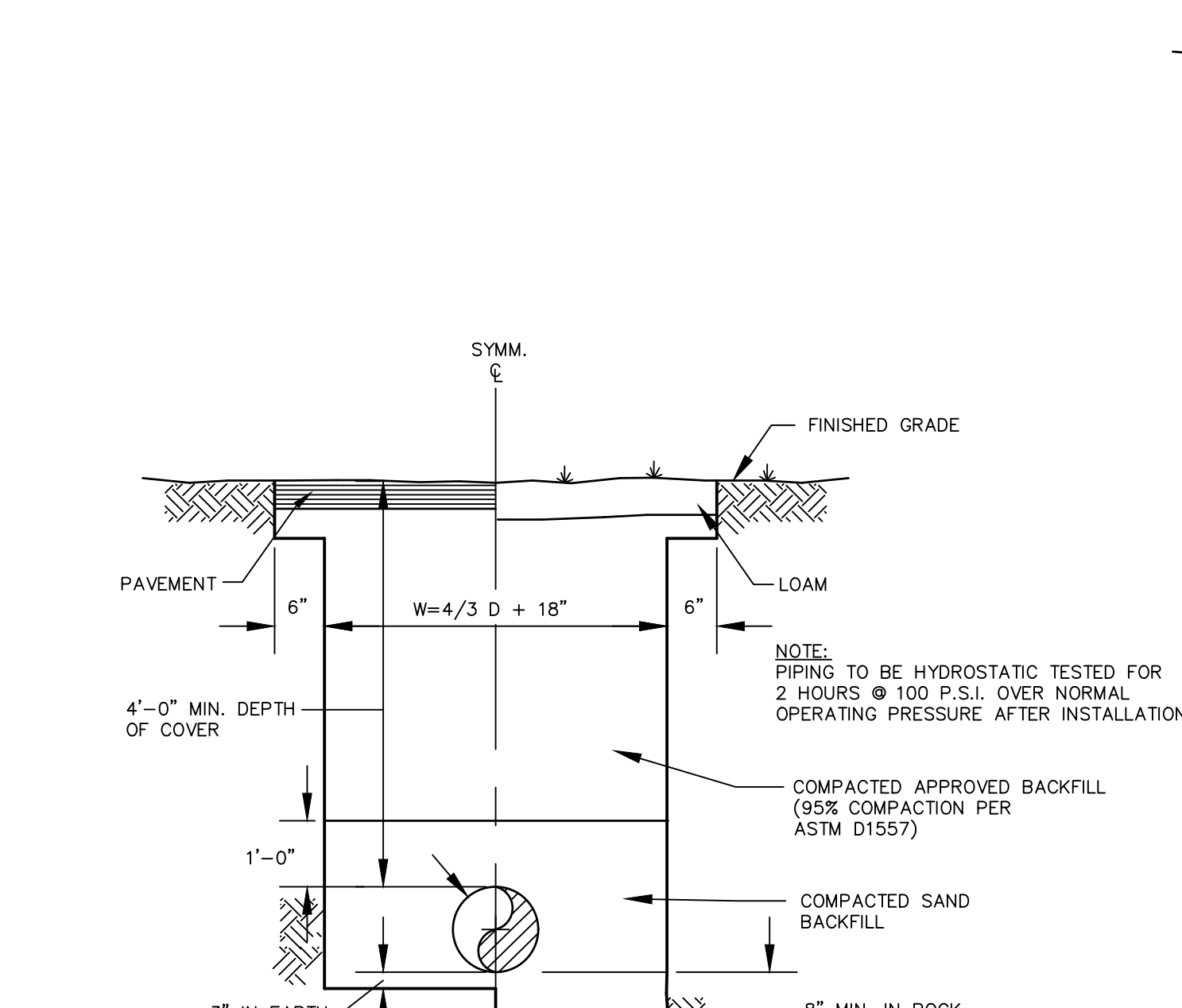
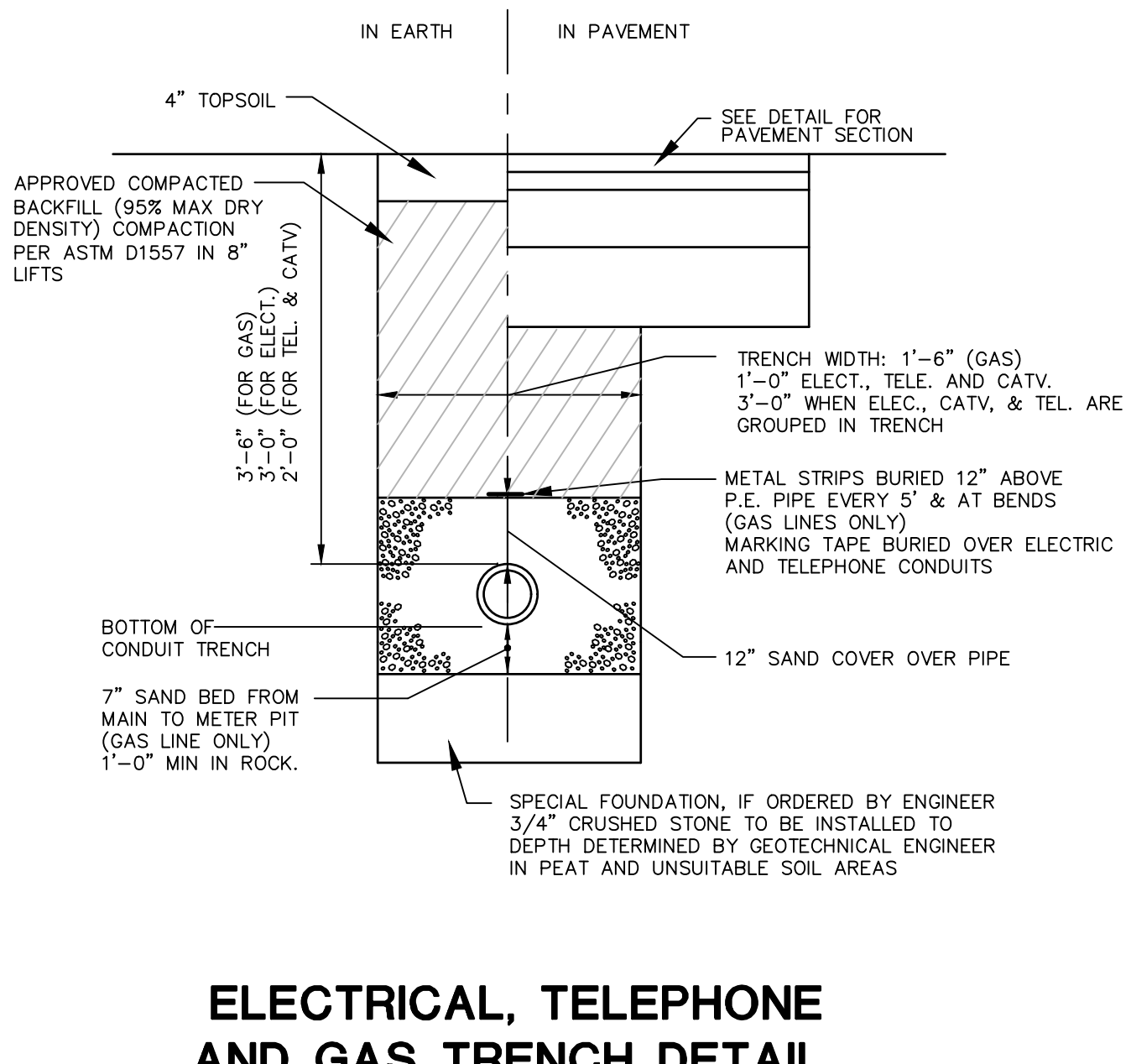
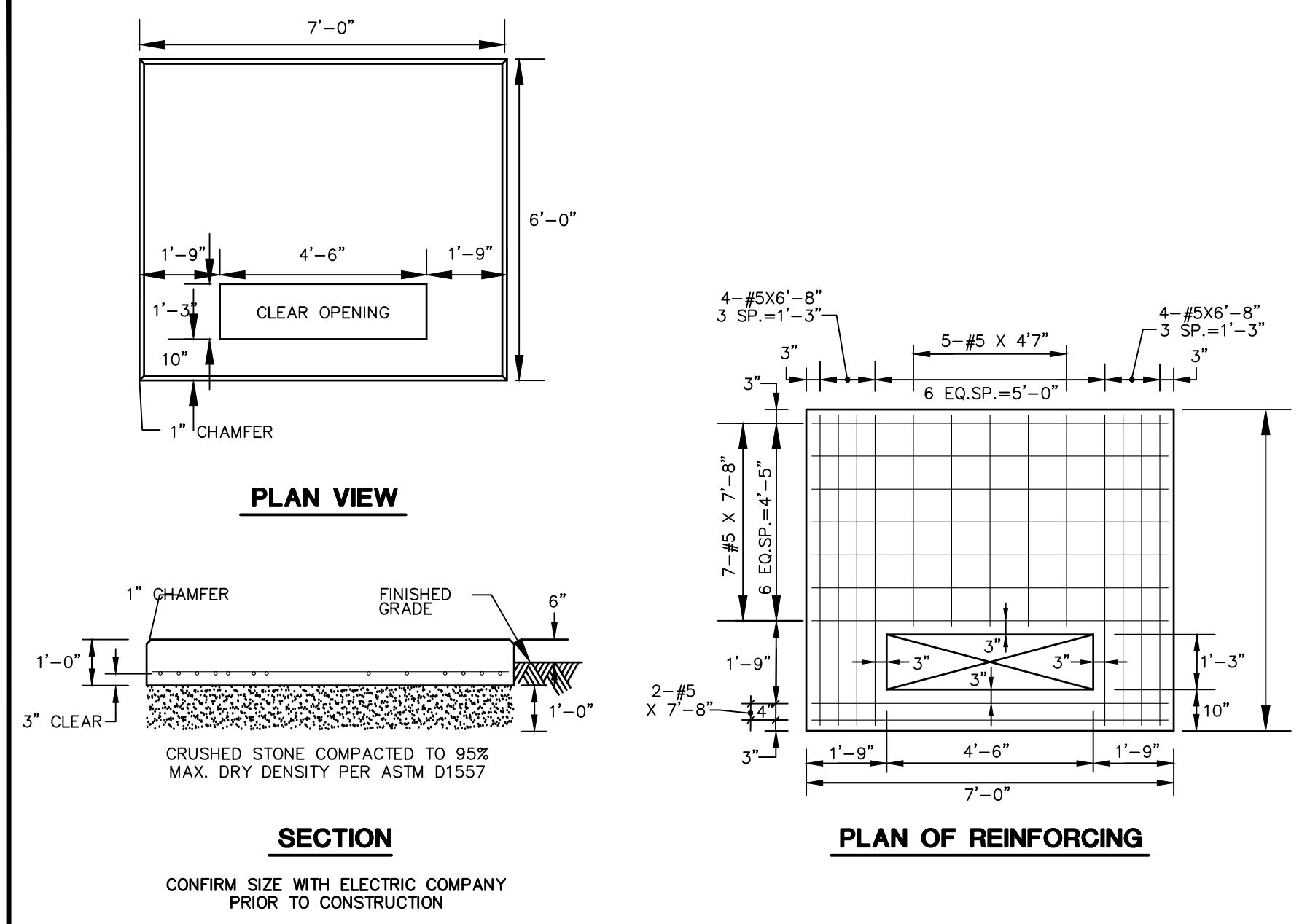
- NOTE:
- CONTRACTOR TO SUBMIT DESIGN PLANS FOR THE PROPOSED RETAINING WALL INCLUDING CALCULATIONS, PREPARED AND STAMPED BY A CONNECTICUT LICENSED PROFESSIONAL ENGINEER PRIOR TO ORDERING.



TRASH ENCLOSURE PLAN

N.T.S. BLSE-004

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Architecture
Engineering
Environmental
Land Surveying

BL Companies

355 Research Parkway
Meriden, CT 06450
(203) 630-1406

STATE OF CONNECTICUT
JAMES W. SCHMIDT
LICENSED PROFESSIONAL ENGINEER
33269

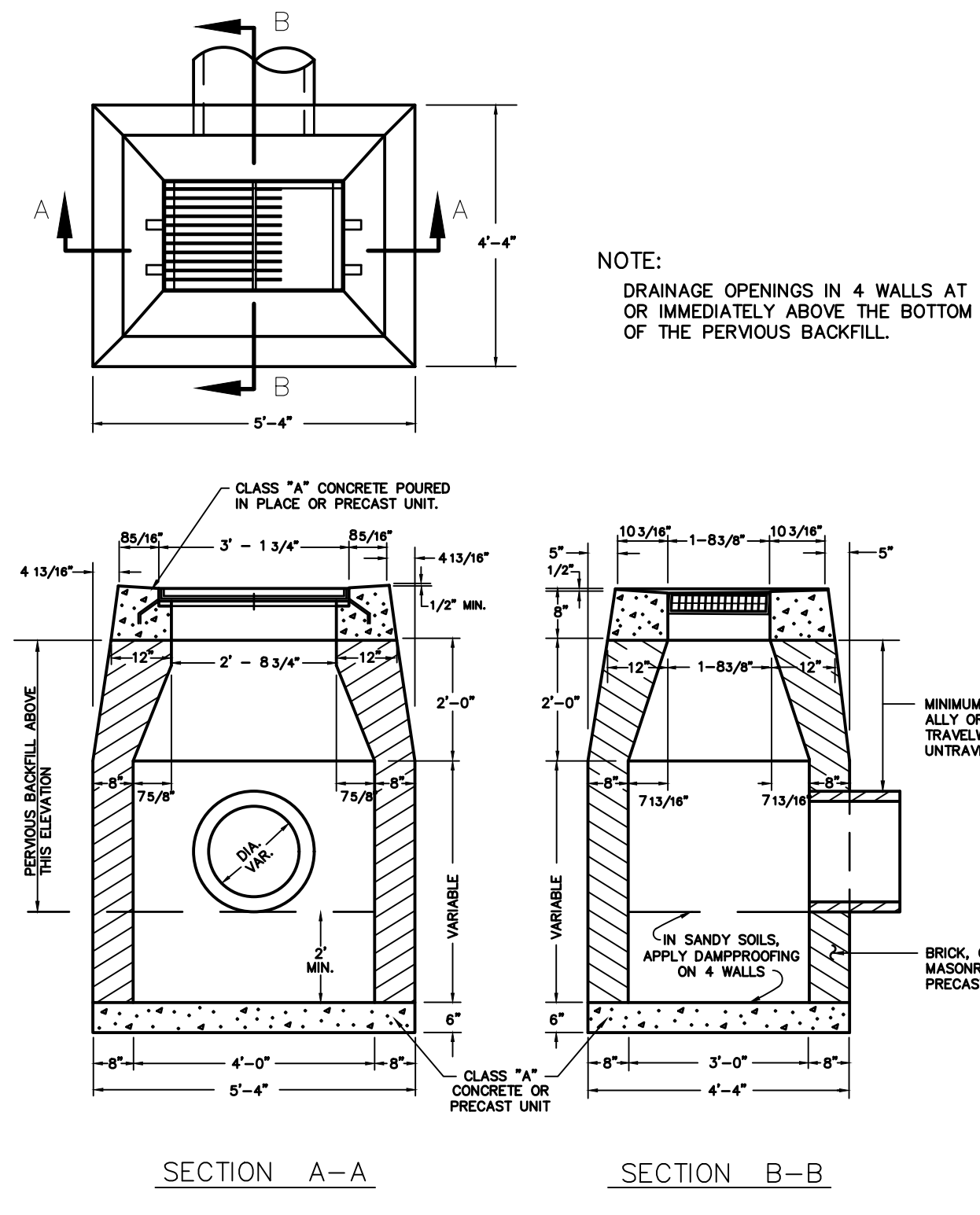
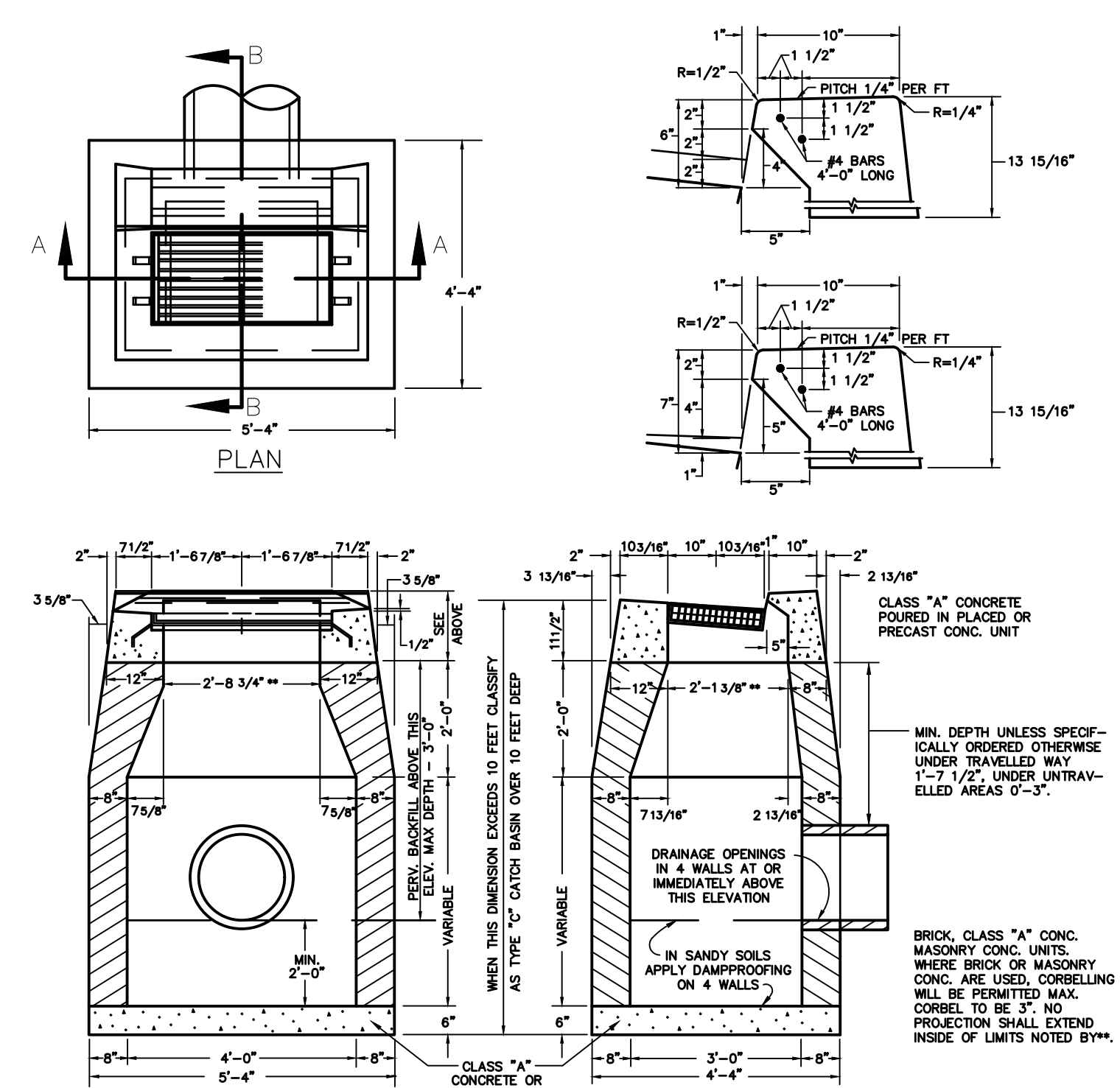
REVISIONS
Date: 02/27/2024
Drawn: M.A.G.
Reviewed: M.A.G.
Scale:
Project No.: 2300910
Date: 02/27/2024
CAD File: DN230091001

Title: **DETAILS SHEET**

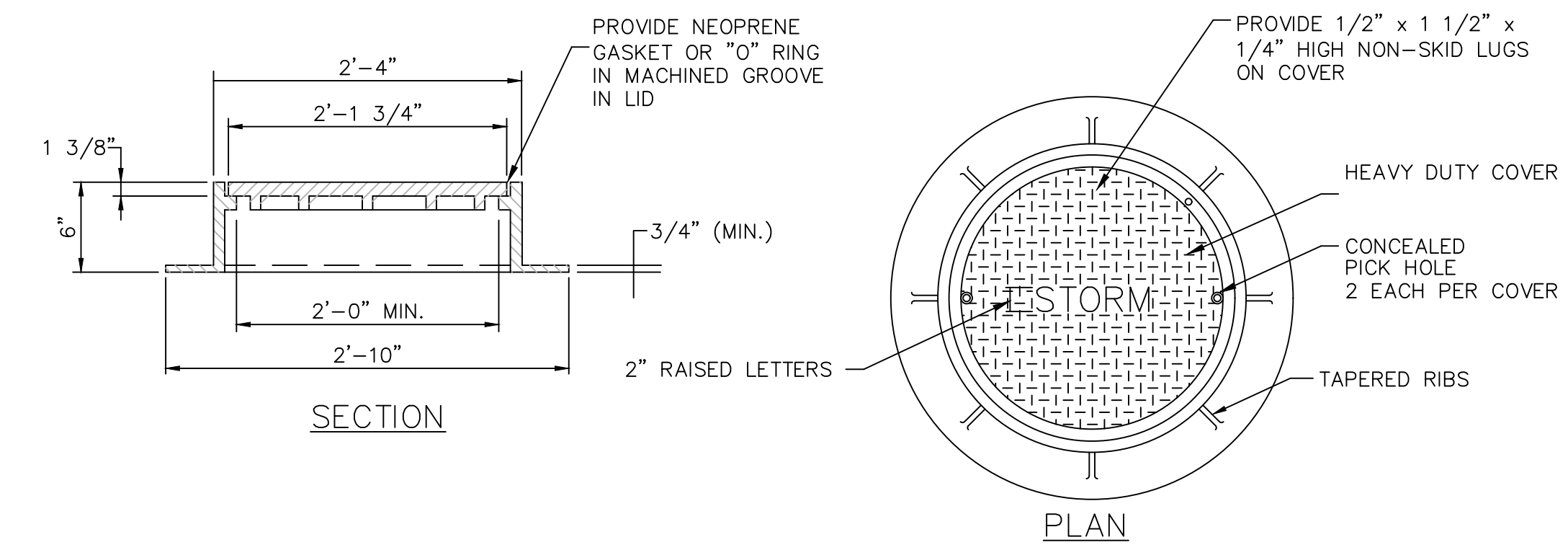
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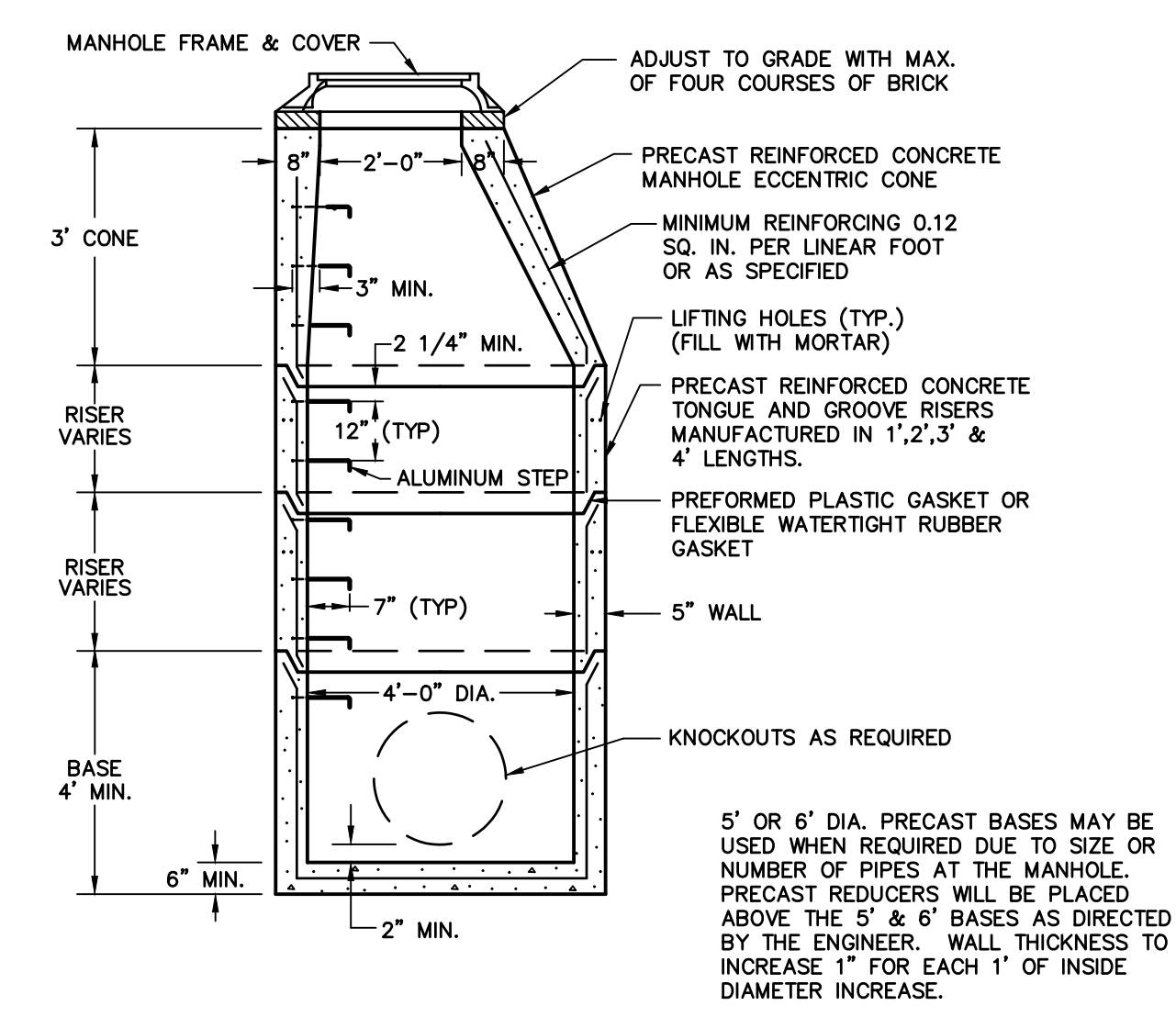
DETAIL OF CURB INLET PLAIN CURB TYPE



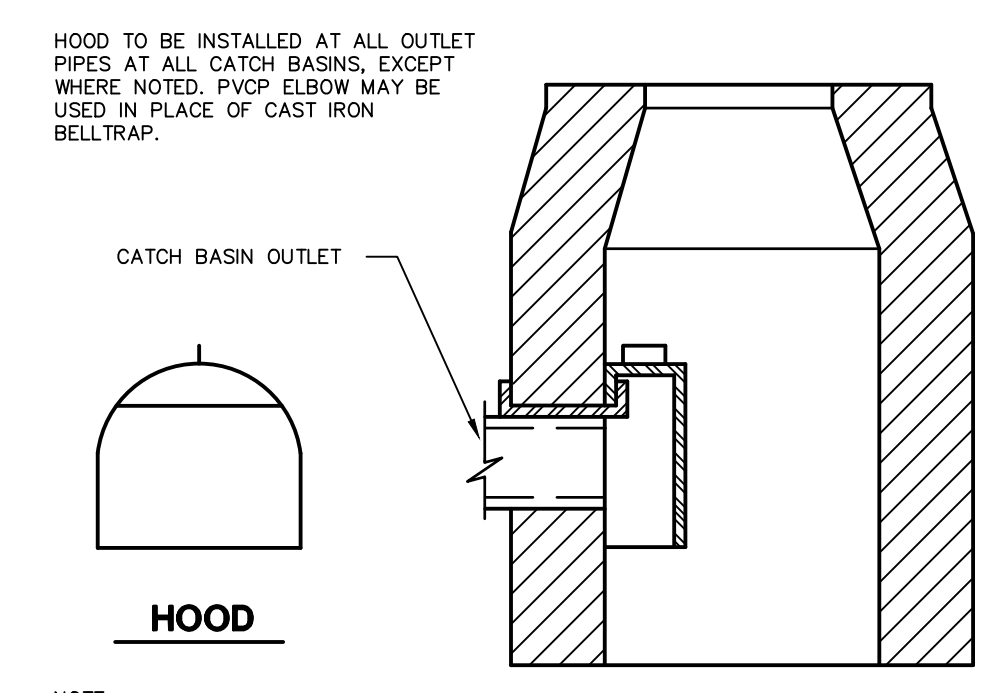
TYPE 'C-L' CATCH BASIN
N.T.S. ZDD-028



STANDARD MANHOLE FRAME AND COVER
N.T.S. RA_C202_06

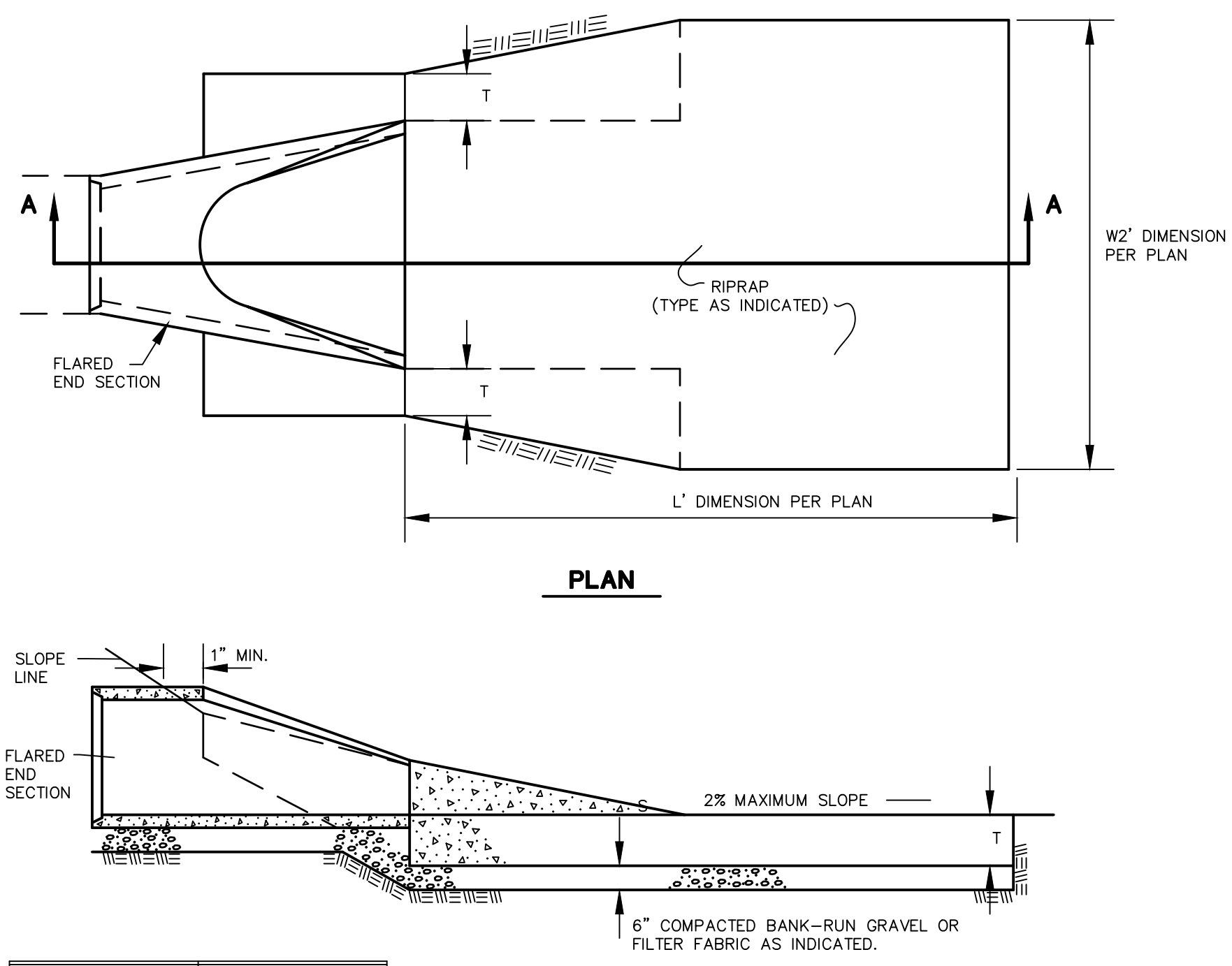


PRECAST STORM MANHOLE DETAIL
N.T.S. ZDD-049



HOODED OUTLET
N.T.S. CTDD-004

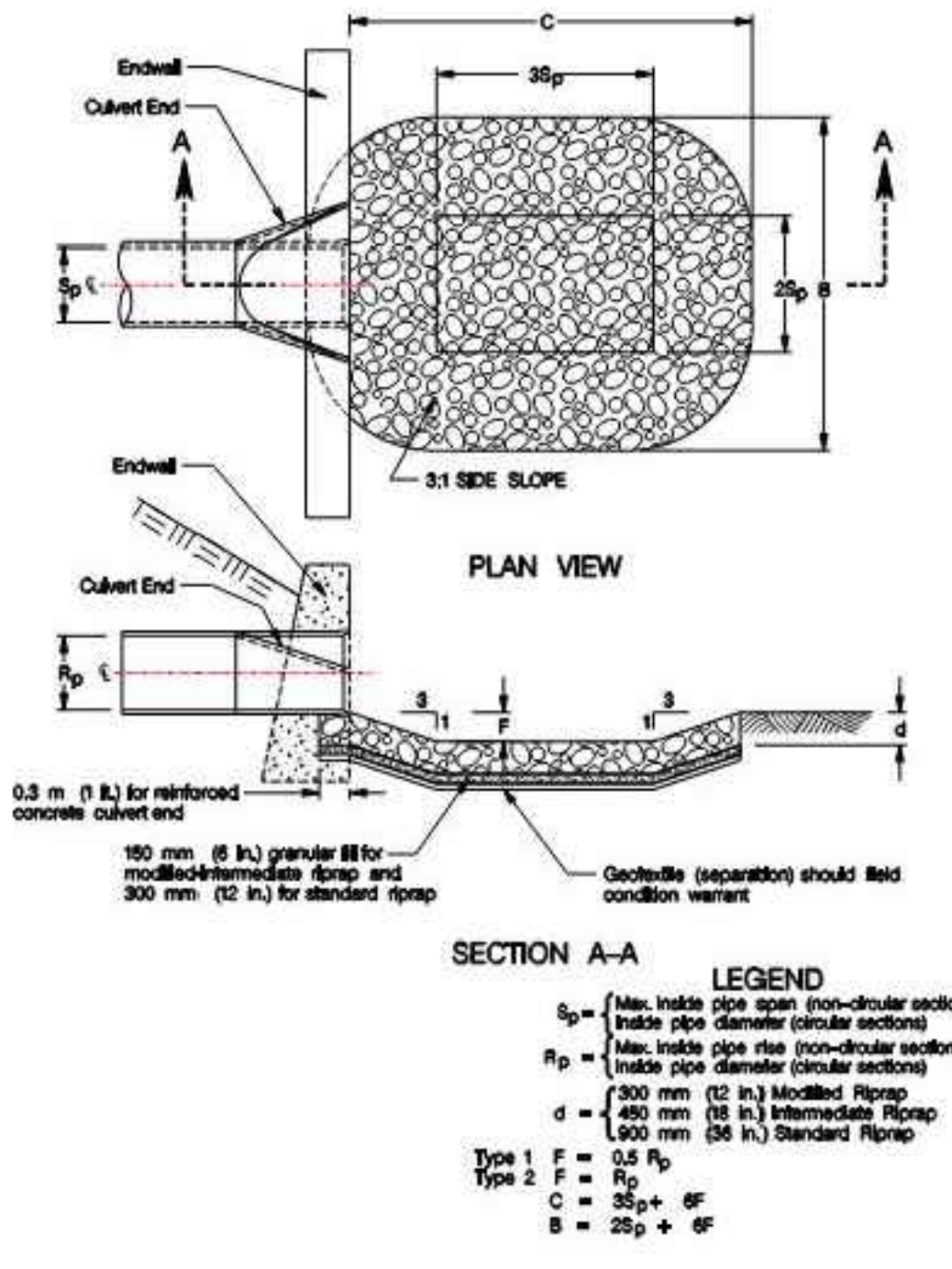
TYPE 'C' CATCH BASIN WITH HOOD
N.T.S. ZDD-027



RIPRAP TYPE	"T" (INCHES)
INTERMEDIATE	18
MODIFIED	12

OUTLET NO.	Sp (Diameter, in.)	Q (CFS)	V (FPS)	Apron Type (letter only)	La (ft.)	W1 (ft.)	W2 (ft.)	Riprap Specification
FES-21	15	2.59	8.58	B	10	4	8	Intermediate
FES-24	15	0.72	4.55	B	10	4	8	Modified

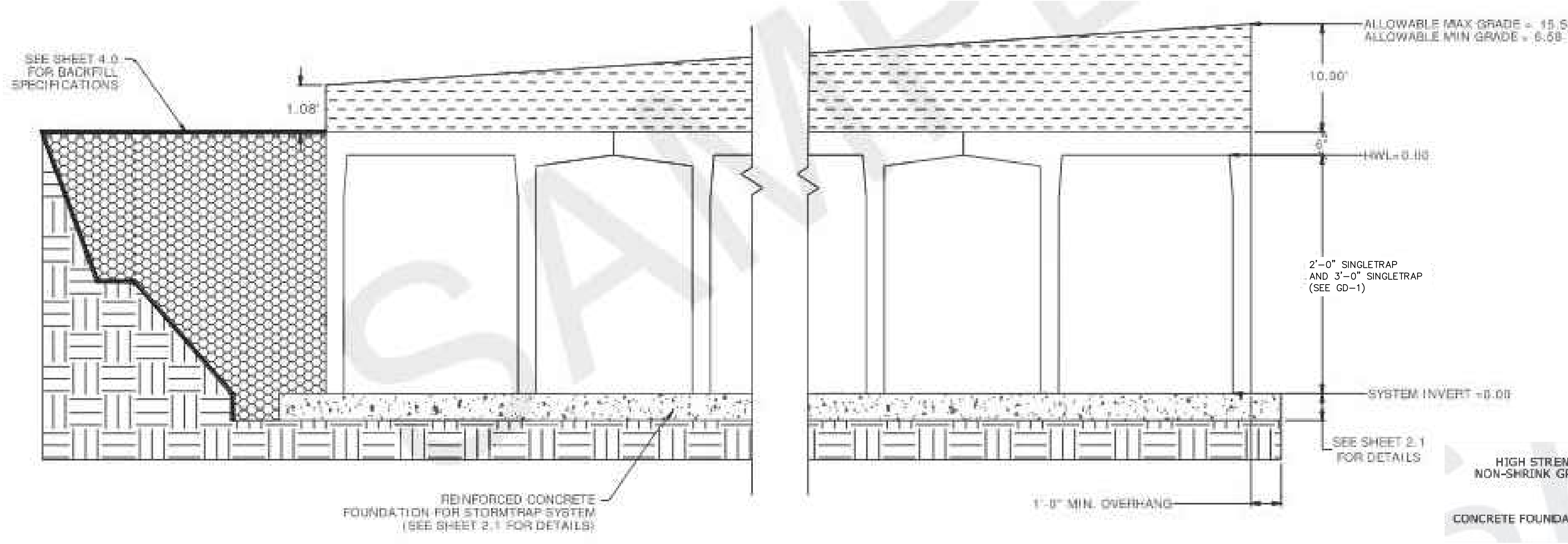
RIPRAP AT FLARED SECTION
N.T.S. CTDD-010



OUTLET NO.	Sp (Diameter, in.)	Pipe Slope (ft/ft)	Q (CFS)	V (FPS)	Type (number only)	F (ft.)	C (ft.)	B (ft.)	TW (ft.)	d50 (ft.)	Riprap Specification	Permissible Shear Stress (lb/ft ²)	Calculated Shear Stress (lb/ft ²)
FES-1	24	0.005	11.48	7.85	1	1.00	12	10	0.95	0.14	Modified	2.00	0.47
FES-14	24	0.030	18.87	6.01	1	1.00	12	10	1.56	0.16	Modified	2.00	2.77

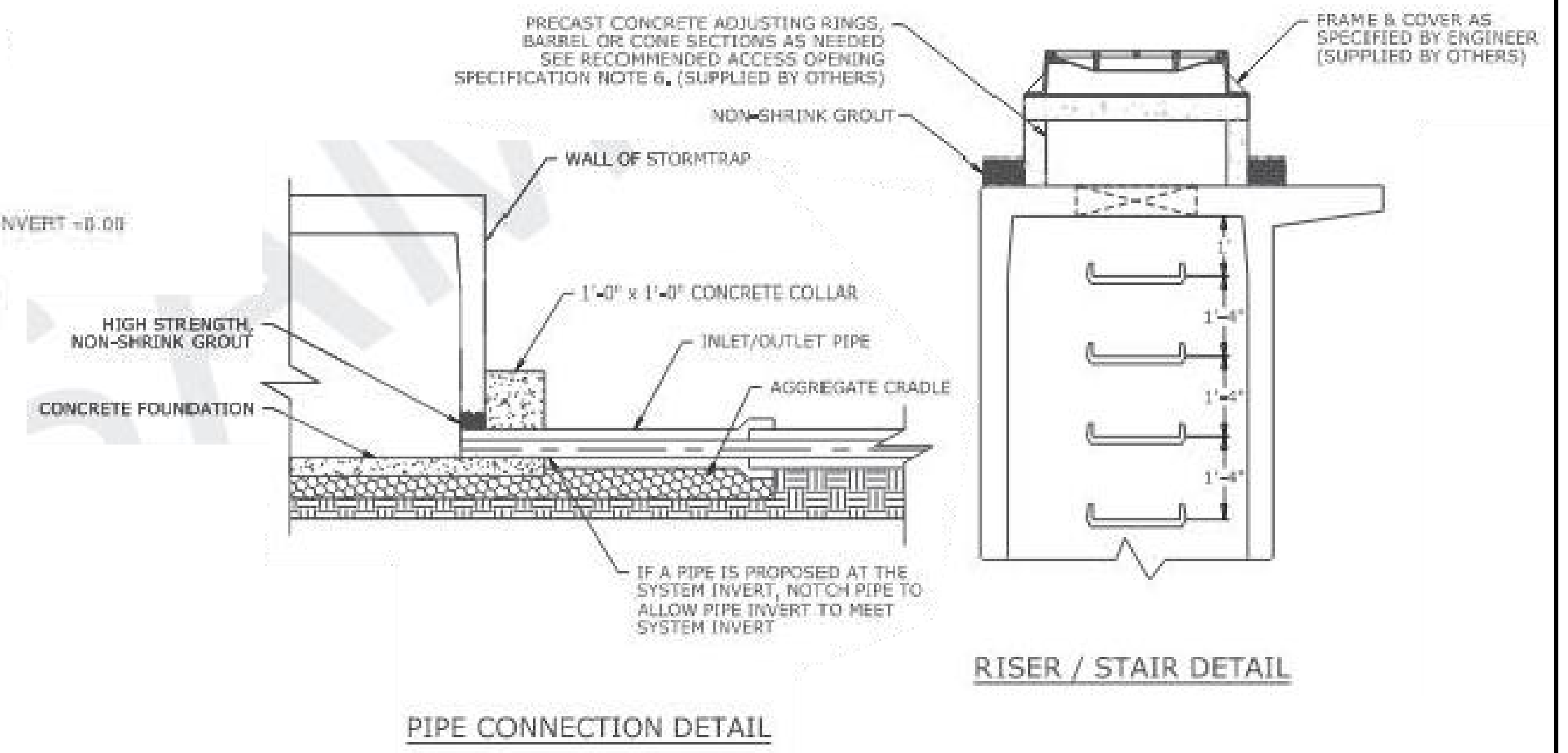
RIPRAP OUTLET SCOUR HOLE
N.T.S.

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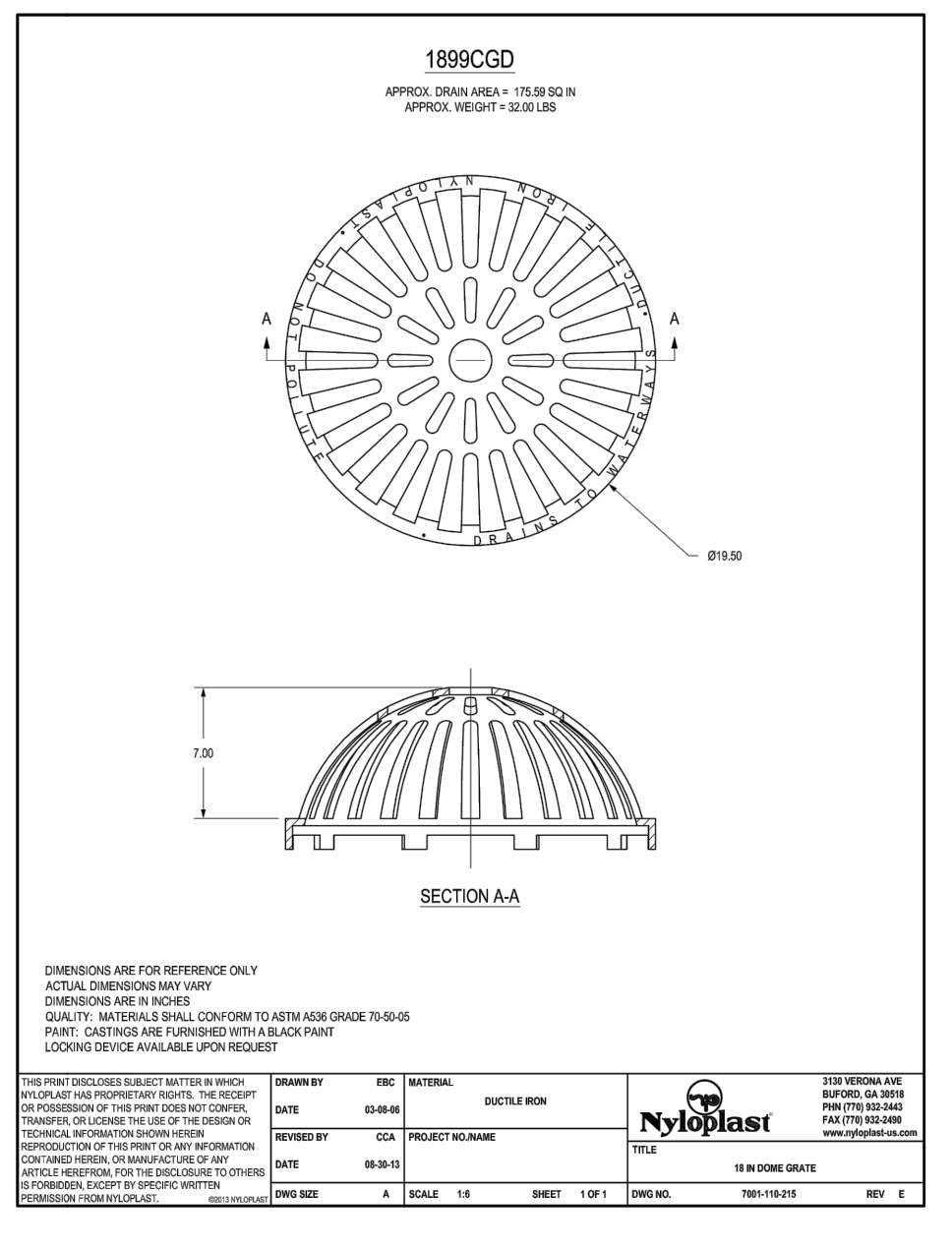
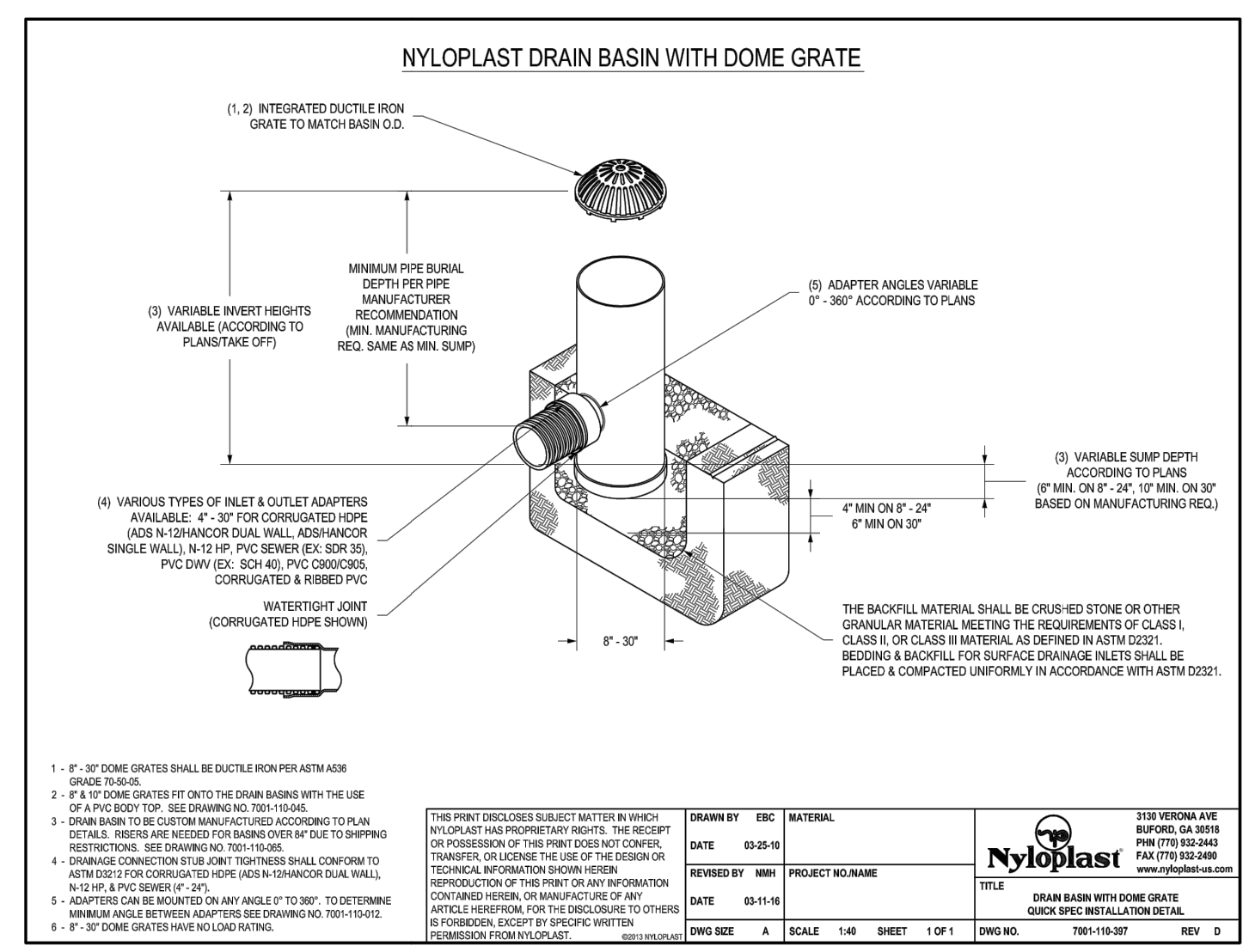
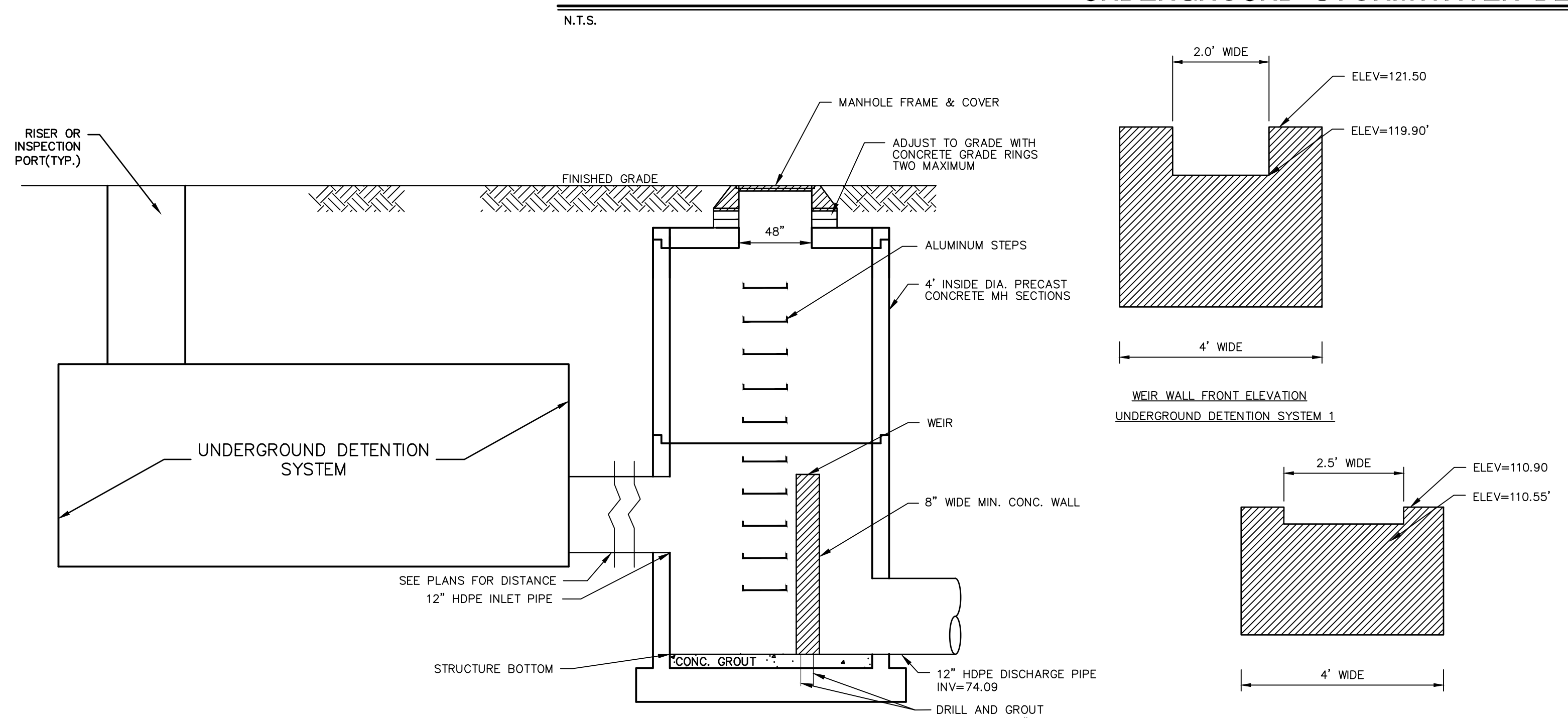


SYSTEM NO.	STORMTRAP TYPE	BOTTOM OF CRUSHED STONE (A)	TOP OF CRUSHED STONE / BOTTOM OF SYSTEM (B)	TOP OF SYSTEM (C)	INVERT IN ELEVATION	INVERT OUT ELEVATION	TOTAL SYSTEM LENGTH	TOTAL SYSTEM WIDTH	TOTAL VOLUME PROVIDED
UNDERGROUND STORMWATER DETENTION SYSTEM 1	3'-0" SINGLETRAP	118.5 FT	119.5 FT	122.5 FT	122.5 FT 119.4 FT	120.5 FT	99.44 FT	68.96 FT	20,277 CF
UNDERGROUND STORMWATER DETENTION SYSTEM 2	2'-0" SINGLETRAP	108.8 FT	109.8 FT	111.8 FT	110.2 FT 108.8 FT	108.8 FT	127.56 FT	89.65 FT	24,054 CF

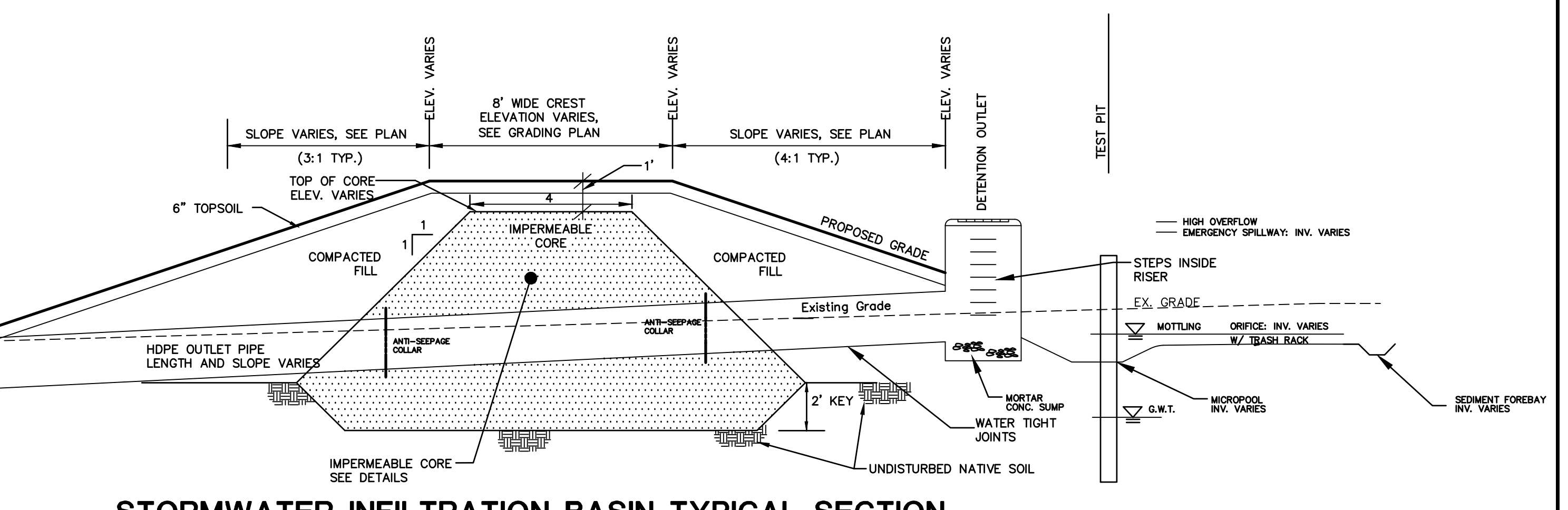
NOTES:
 1. INVERT ELEVATIONS IN THE CHART ABOVE APPLY ONLY IF INVERT ELEVATIONS FOR PIPE CONNECTIONS ARE NOT EXPLICITLY SHOWN ON THE GRADING AND DRAINAGE PLAN SHEETS
 2. PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL PROVIDE CONSTRUCTION DETAILS INCLUDING INSPECTION PORT LOCATIONS TO BE APPROVED BY THE SITE ENGINEER.



UNDERGROUND STORMWATER DETENTION SYSTEM (STORMTRAP)



UNDERGROUND DETENTION OUTLET CONTROL STRUCTURE (OCS)



STORMWATER INFILTRATION BASIN TYPICAL SECTION

SCALE: 1"=5' HORIZ. AND VERT.

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